

MODEL BUILDING TYPE:

NARROW HOUSE (3 BED)

DESCRIPTION:

UNIT CONFIGURATION: 3 BED / 2.5 BATH
UNIT SIZE: 1,390 SQ. FT. (FINISHED GROSS)
BUILDING HEIGHT: 2 STORIES + BASEMENT
EXTERIOR OPTIONS: A, B, -OR- C
OPTIONAL: LOCK-OFF BASEMENT UNIT.



EXTERIOR ELEVATION
OPTION A



EXTERIOR ELEVATION
OPTION B



EXTERIOR ELEVATION
OPTION C

DRAWING INDEX

GO.01	COVER, DRAWING INDEX, AND GENERAL INFORMATION
A1.01	SITE PLAN DIAGRAMS AND FOUNDATION PLAN
A1.02	FLOOR PLANS
A1.03	ROOF PLAN AND LIGHTING PLANS
A2.01	EXTERIOR ELEVATIONS
A3.01	BUILDING SECTIONS, WALL SECTION, AND WINDOW & DOOR SCHEDULES
A4.01A	EXTERIOR DETAILS (ELEVATION OPTION A)
A4.02A	EXTERIOR DETAILS (ELEVATION OPTION A)
A4.01B	EXTERIOR DETAILS (ELEVATION OPTION B)
A4.02B	EXTERIOR DETAILS (ELEVATION OPTION B)
A4.01C	EXTERIOR DETAILS (ELEVATION OPTION C)
A4.02C	EXTERIOR DETAILS (ELEVATION OPTION C)

APPLICABLE CODES

ZONING CODE	2020 SOUTH BEND ZONING ORDINANCE	
	ZONING DISTRICTS	ALLOWED IN S1, S2, U1, U2, U3, & UF (MUST COMPLY W/ ALL DEVELOPMENT STANDARDS OF SECTION 21-03)
	REQUIRED PARKING	NO REQUIRED OFF-STREET PARKING (NEW OFF-STREET PARKING MAY BE PROVIDED IN ACCORDANCE W/ SECTION 21-07.03)
BUILDING CODE	2020 INDIANA RESIDENTIAL CODE	
	CONSTRUCTION TYPE	---
	OCCUPANCY TYPE	---
	SPRINKLERS	NOT REQUIRED
	FIRE ALARM	NOT REQUIRED
	STORIES	2 + BASEMENT
	OCCUPANCY LOAD	---
	AREA: (CONDITIONED)	
	BASEMENT (UNFINISHED)	830 SF
	1ST FLOOR	830 SF
	2ND FLOOR	560 SF
	BUILDING TOTAL	2,220 SF
ENERGY CODE	2018 INTERNATIONAL ENERGY CONSERVATION CODE (W/ 2020 INDIANA AMENDMENTS)	
	THIS SET ASSUMES PRESCRIPTIVE PATH.	

GENERAL NOTES

- SITE PLAN SHALL BE SUBMITTED SEPARATELY BY APPLICANT PER REQUIREMENTS OF THE CITY OF SOUTH BEND PERMIT APPLICATION.
- THE INFORMATION CONTAINED WITHIN THESE DOCUMENTS IS ISSUED TO SHOW DESIGN INTENT WITH STANDARD CONSTRUCTION PRACTICES IN MIND. ALL PARTIES PERFORMING WORK SHALL VISIT THE SITE AND BE FAMILIAR WITH ALL CONDITIONS THAT MIGHT AFFECT THEIR WORK. AS A RESULT, THE INFORMATION CONTAINED IN THESE DRAWINGS MAY REQUIRE MODIFICATION OR FIELD ADJUSTMENTS IN ORDER TO MEET VARIATIONS IN LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE FINAL DESIGN AND CONSTRUCTION IS CODE COMPLIANT, APPROPRIATE, AND COMPLETE.
- THE GENERAL CONTRACTOR AND OWNER ASSUME ALL RESPONSIBILITY TO PERFORM ALL WORK WITHIN STANDARD CONSTRUCTION PRACTICES THAT ENSURE PROPER STRUCTURAL DETAILING, WEATHERPROOF CONSTRUCTION, AND QUALITY WORKMANSHIP. ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES AND STANDARDS. DIMENSIONS, FLOOR AND ROOF LOADING, AND BEAM DESIGN SHOULD BE CHECKED PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION.
- ALL DIMENSIONS ARE SHOWN TO FACE OF STUD OR FACE OF FOUNDATION AND TO THE CENTERLINES OF DOORS, WINDOWS, AND COLUMNS UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL UTILITY, SERVICE, AND SYSTEMS LOCATIONS PRIOR TO THE COMMENCEMENT OF WORK. FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITY COMPONENTS.
- SLOPE ALL GRADES AWAY FROM BUILDING.
- EXTERNAL HVAC UNITS AND EXTERNAL ELECTRICAL PANELS SHALL ONLY BE INSTALLED ON THE REAR OR SIDES OF RESIDENCES OR SHALL BE SCREENED SO THAT NO PORTION IS VISIBLE FROM ANY PUBLIC RIGHT-OF-WAY, WITH EXCEPTION OF ALLEYS. UNITS ARE TO BE PLACED OUT OF CRITICAL PATHS.
- ALL STAIR RISERS WITHIN A RUN MUST BE IDENTICAL. CONTRACTOR MUST COORDINATE WITH INTERIOR FLOOR FINISHES WHEN LAYING OUT STAIRS SO THAT RISERS ARE EQUAL.
- SET INTERIOR DOOR LOCATIONS TO ALLOW 4" OF WALL SPACE ON EACH SIDE OF THE DOOR FOR TRIM UNLESS INDICATED OTHERWISE. AT AREAS WHERE DOOR CASING TRIM MUST BE RIPPED DOWN, SET DOOR SO THAT DOOR CASING TRIM IS OF EQUAL WIDTH ON EACH SIDE OF THE DOOR.
- PROVIDE WOOD BLOCKING BEHIND GYPSUM WALL BOARD AT ALL HANDRAILS, CABINETS, GRAB BARS, CLOSET RODS, INCLUDING ALL WALL-MOUNTED ACCESSORIES AND AROUND MODULAR SHOWER SURROUND.
- COORDINATE SIZE AND LOCATIONS OF SELECTED EQUIPMENT AND APPLIANCES ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- EMERGENCY ACCESS SHALL INCLUDE ONE ENTRY DOOR AT 3'-0" MINIMUM WIDTH AND BEDROOM EGRESS WITH MINIMUM NET CLEAR OPENINGS PER CODE.

GENERAL CONSTRUCTION STANDARDS

- THE FOLLOWING DESCRIBES THE TYPICAL CONDITIONS ASSUMED THROUGHOUT THIS DRAWING SET. STRUCTURE TO BE CONFIRMED AND VERIFIED BY OTHERS. MODIFICATIONS TO THESE DETAILS MAY BE REQUIRED AT THE DISCRETION AND LIABILITY OF THE GENERAL CONTRACTOR.
 - EXTERIOR WALL ASSEMBLY:
 - EXTERIOR ASSEMBLY: FIBER CEMENT SIDING W/ 5" EXPOSURE ON WATER RESISTANT BARRIER ON ½" STRUCTURAL SHEATHING.
 - WALL STRUCTURE: 2X6 WOOD STUDS @ 16" O.C. W/ R-19 MINIMUM INSULATION BETWEEN STUDS.
 - INTERIOR FINISH: ½" GYPSUM WALL BOARD.
 - INTERIOR WALL ASSEMBLY:
 - WALL STRUCTURE: 2X4 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
 - INTERIOR FINISH: ½" GYPSUM WALL BOARD.
 - WHERE 1-HR OR 2-HR FIRE RATING IS NECESSARY THE APPLICABLE WALL ASSEMBLY MUST MEET ALL MINIMUM CODE REQUIREMENTS.
 - FLOOR / CEILING ASSEMBLY:
 - FLOOR SYSTEM: ¾" THICK SUBFLOOR GLUED AND SCREWED TO FLOOR JOISTS. INTERIOR FLOOR FINISH BY OTHERS.
 - WOOD JOIST: 2X10 LUMBER JOISTS, OR AS REQUIRED BY CODE.
 - CEILING SYSTEM: 1 LAYER OF ½" GYPSUM WALL BOARD.
 - WHERE 1-HR OR 2-HR FIRE RATING IS NECESSARY THE APPLICABLE FLOOR / CEILING ASSEMBLY MUST MEET ALL MINIMUM CODE REQUIREMENTS.
 - ROOF ASSEMBLY:
 - EXTERIOR ASSEMBLY: ARCHITECTURAL SHINGLES ON ROOFING FELT ON ¾" STRUCTURAL SHEATHING.
 - STRUCTURE: ROOF TRUSSES OR ROOF RAFTERS AND JOISTS. STRUCTURE BY OTHERS.
 - FOUNDATION / BASEMENT CONSTRUCTION:
 - FOUNDATION WALL: 8" POURED IN PLACE CONCRETE FOUNDATION WALL W/ DAMP PROOFING OR WATERPROOFING BELOW GRADE. REBAR PER CODE. PARGE COAT ON EXTERIOR FACE ABOVE GRADE.
 - BASEMENT FLOOR: 4" CONCRETE SLAB ON GRADE OVER VAPOR BARRIER. THICKENED SLAB UNDER INTERIOR BEARING WALLS AND STRUCTURAL COLUMNS.



NARROW HOUSE (3 BED)

SOUTH BEND MODEL BUILDINGS

3 BED / 2.5 BATH

SOUTH BEND, INDIANA

ISSUE:

O11.2022
PRE-APPROVED
BUILDING SET

FOR CITY USE:

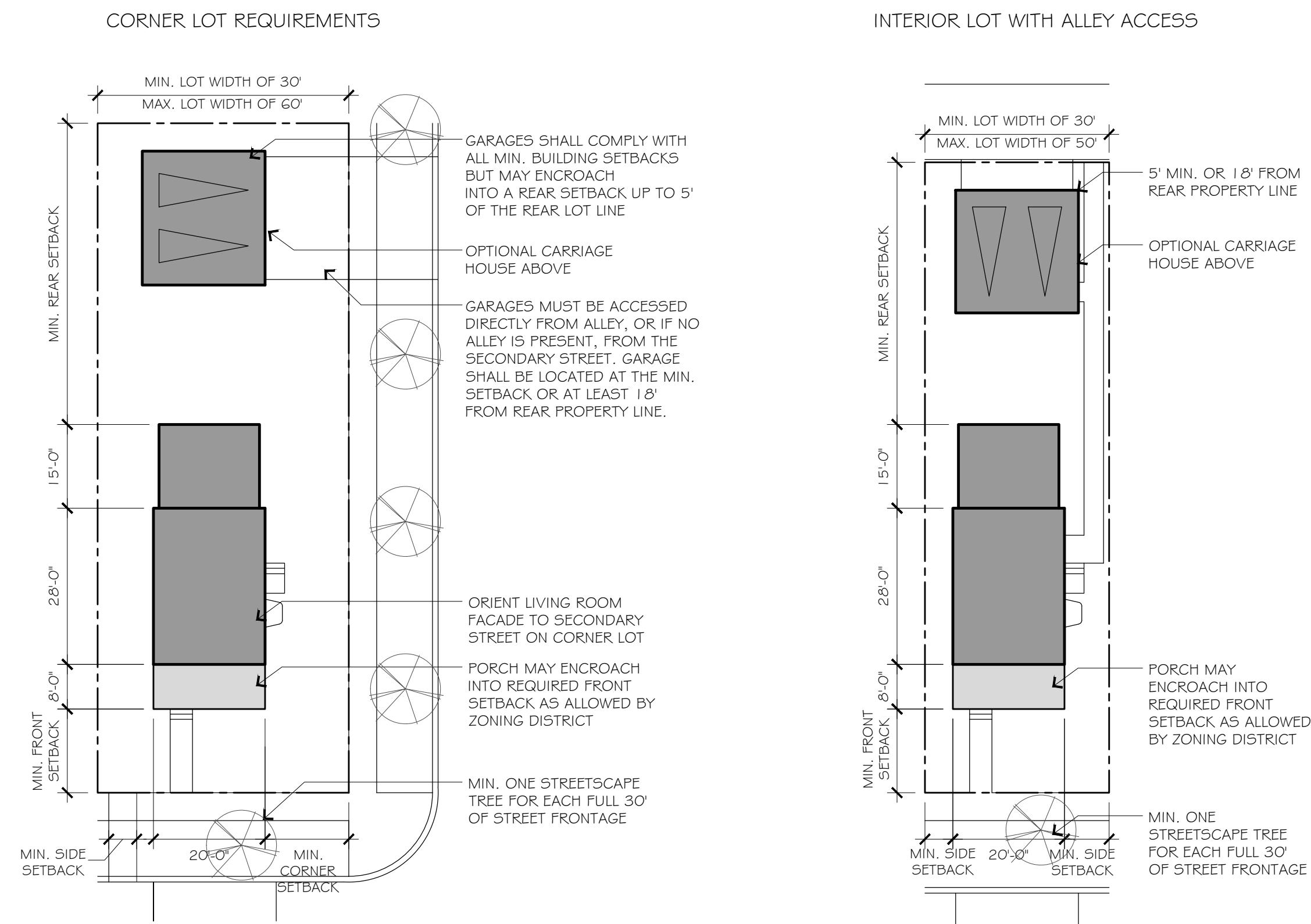
NOTES:
IF THIS DRAWING IS NOT 34" x 36", IT HAS BEEN REVISED FROM ITS ORIGINAL SIZE. SCALE IS NO LONGER APPLICABLE.
THIS DOCUMENT IS INTENDED TO SHOW DESIGN INTENT WITH STANDARD CONSTRUCTION PRACTICES IN MIND. DUE TO VARIATIONS IN LOCAL, STATE, AND FEDERAL CODES, THE INFORMATION CONTAINED IN THESE DRAWINGS MAY REQUIRE MODIFICATION. THE BUILDER IS RESPONSIBLE FOR REVIEWING AND ASSURING THAT THE FINAL DESIGN IS REVISED TO BECOME CODE COMPLIANT, APPROPRIATE, AND COMPLETE. DIMENSIONS, FLOOR AND ROOF LOADING, AND BEAM DESIGN SHOULD BE CHECKED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

SHEET TITLE:

COVER, DRAWING
INDEX, AND GENERAL
INFORMATION

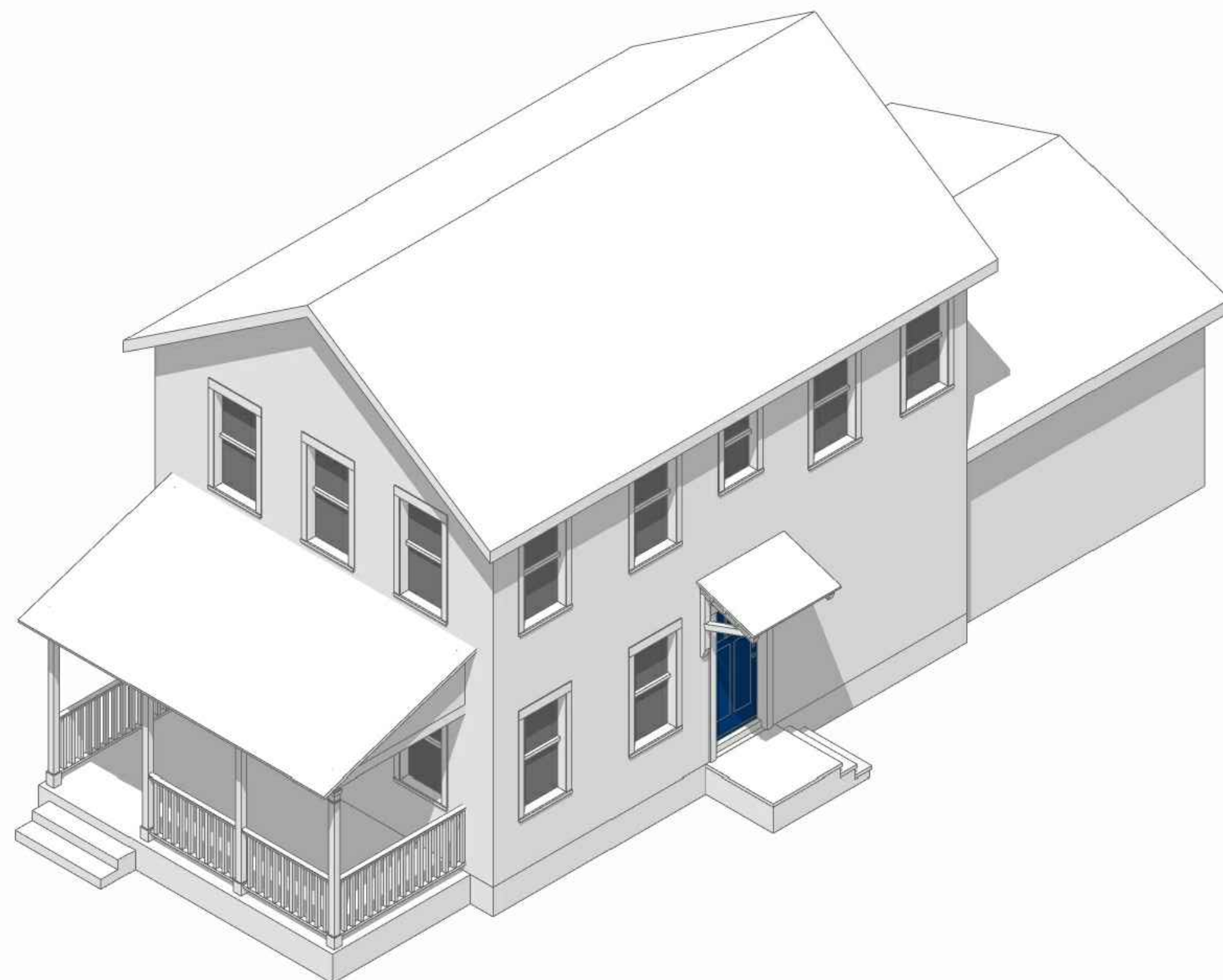
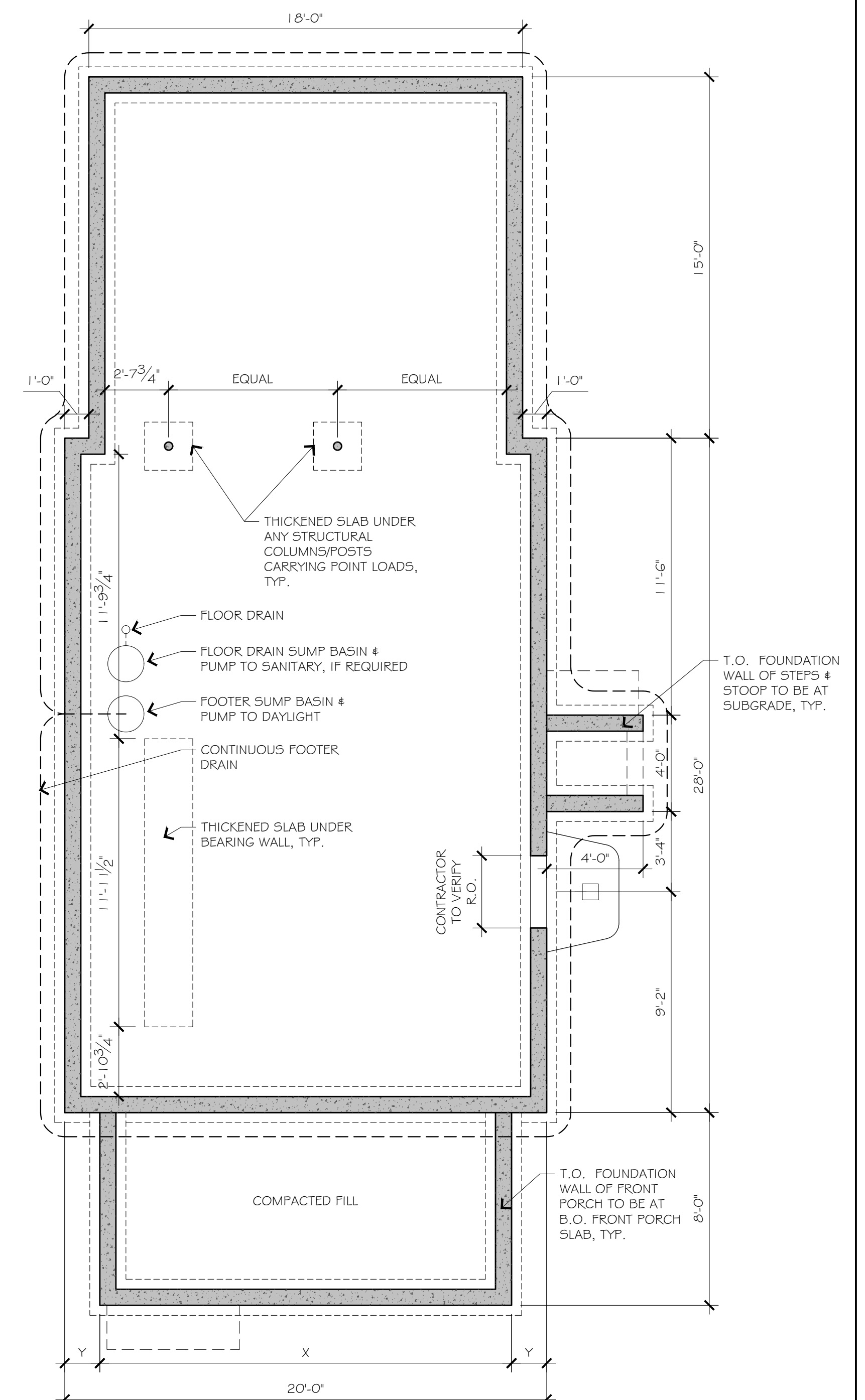
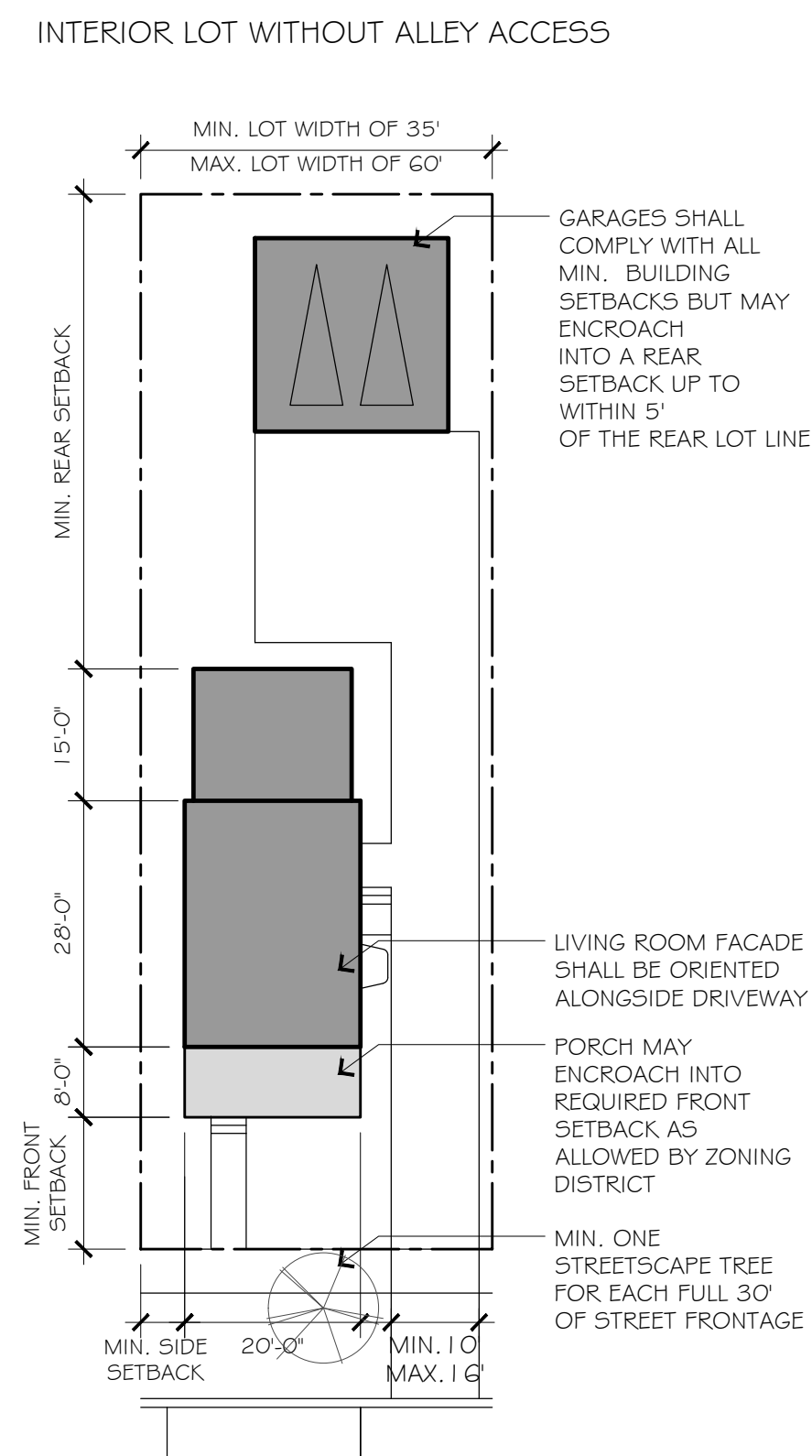
SHEET NO.:

G-O.01



SITE PLAN REQUIREMENTS FOR ALL NARROW HOUSE PLANS:

THE BUILDING ENVELOPE IS REQUIRED TO MATCH ALL DETAILS OF PRE-APPROVED ARCHITECTURAL DESIGN SET.
PLANS MAY BE ORIENTED TO EITHER SIDE LOT LINE (MIRRORED) ON INTERIOR LOTS ONLY.
ALL BUILDINGS SHALL BE SUBJECT TO THE PROVISIONS OF THE APPLICABLE ZONING DISTRICT.



FRONT PORCH DIMENSIONS PER ELEVATION OPTION		
ELEVATION OPTION	X	Y
A	17'-1"	1'-5 1/2"
B	17'-5 1/2"	1'-3 3/4"
C	18'-3 3/4"	0'-11 1/2"

FRONT PORCH DIMENSIONS PER ELEVATION OPTION		
ELEVATION OPTION	X	Y
A	17'-1"	1'-5½"
B	17'-5½"	1'-3½"
C	18'-3½"	0'-10½"

01 BASEMENT PLAN

FRONT PORCH DIMENSIONS PER ELEVATION OPTION	
ELEVATION OPTION	X
A	7'-8½"
B	7'-6¼"
C	7'-1¼"

02 1ST FLOOR PLAN

AREA OF FLOORING (GROSS SF)	
LIVING / DINING	317
KITCHEN	62
POWDER ROOM	27
BASEMENT STAIR LANDING	15
STAIR TREADS (1ST FLOOR)	47
MASTER BEDROOM	167
MASTER BATHROOM	34
MASTER CLOSET	25
TOTAL	694

1/4" = 1'-0"

AREA OF FLOORING (GROSS SF)	
BEDROOM 01	125
BEDROOM 02	113
BATHROOM	50
CLOSETS (ALL)	77
HALL	65
TOTAL	430

03 2ND FLOOR PLAN

1/4" = 1'-0"

NOTES:
IF THIS DRAWING IS NOT 34" x 36", IT HAS
BEEN REVISED FROM ITS ORIGINAL SIZE.
SCALE IS NO LONGER APPLICABLE.

THIS DOCUMENT IS INTENDED TO SHOW
DESIGN INTENT WITH STANDARD
CONSTRUCTION PRACTICES IN MIND. DUE TO
VARIATIONS IN LOCAL, STATE, AND FEDERAL
CODES, THE INFORMATION CONTAINED IN
THESE DRAWINGS MAY REQUIRE
MODIFICATION. THE BUILDER IS RESPONSIBLE
FOR REVIEWING, AND ASSURING, THAT THE
FINAL DESIGN IS REVISED TO BECOME CODE
COMPLIANT, APPROPRIATE, AND COMPLETE.
DIMENSIONS, FLOOR AND ROOF LOADINGS,
AND BEAM DESIGN SHOULD BE CHECKED
PRIOR TO THE COMMENCEMENT OF
CONSTRUCTION.

SHEET TITLE:

FLOOR PLANS

SHEET NO.:

A-I.02

NARROW HOUSE (3 BED)
SOUTH BEND MODEL BUILDINGS

3 BED / 2.5 BATH

SOUTH BEND, INDIANA

ISSUE:

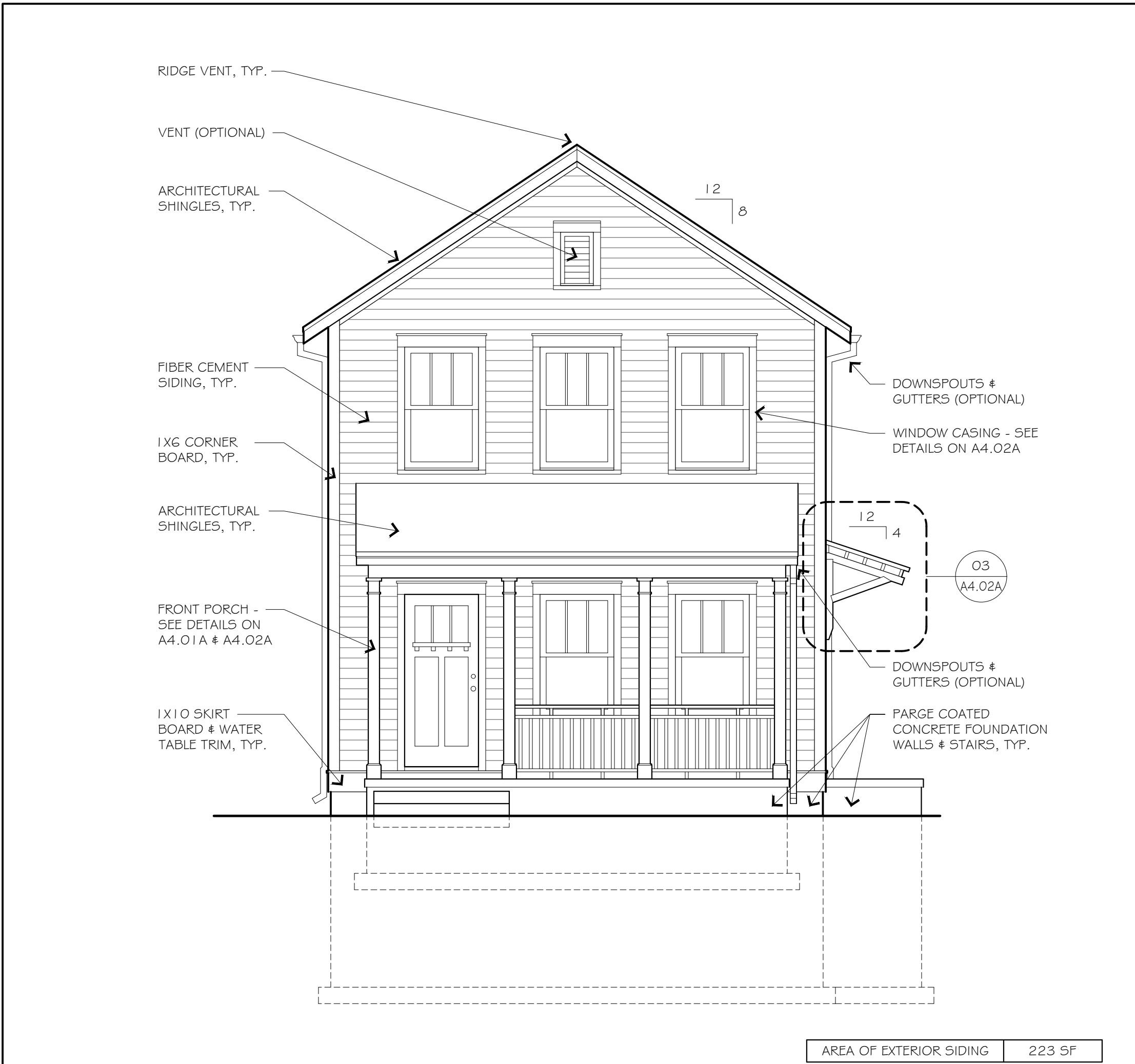
01.12.2022
PRE-APPROVED
BUILDING SET

FOR CITY USE:



CITY OF

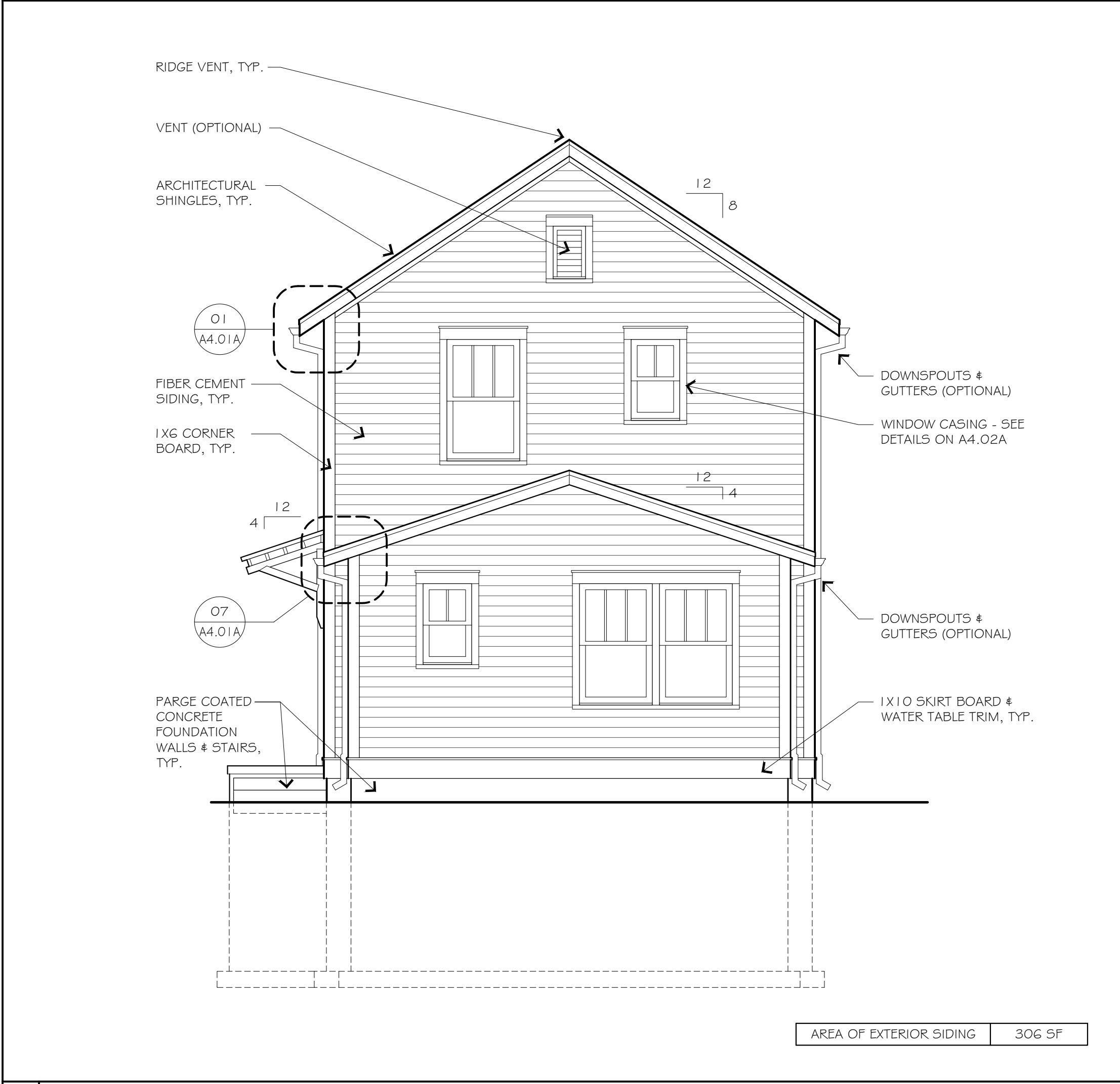
SOUTH BEND



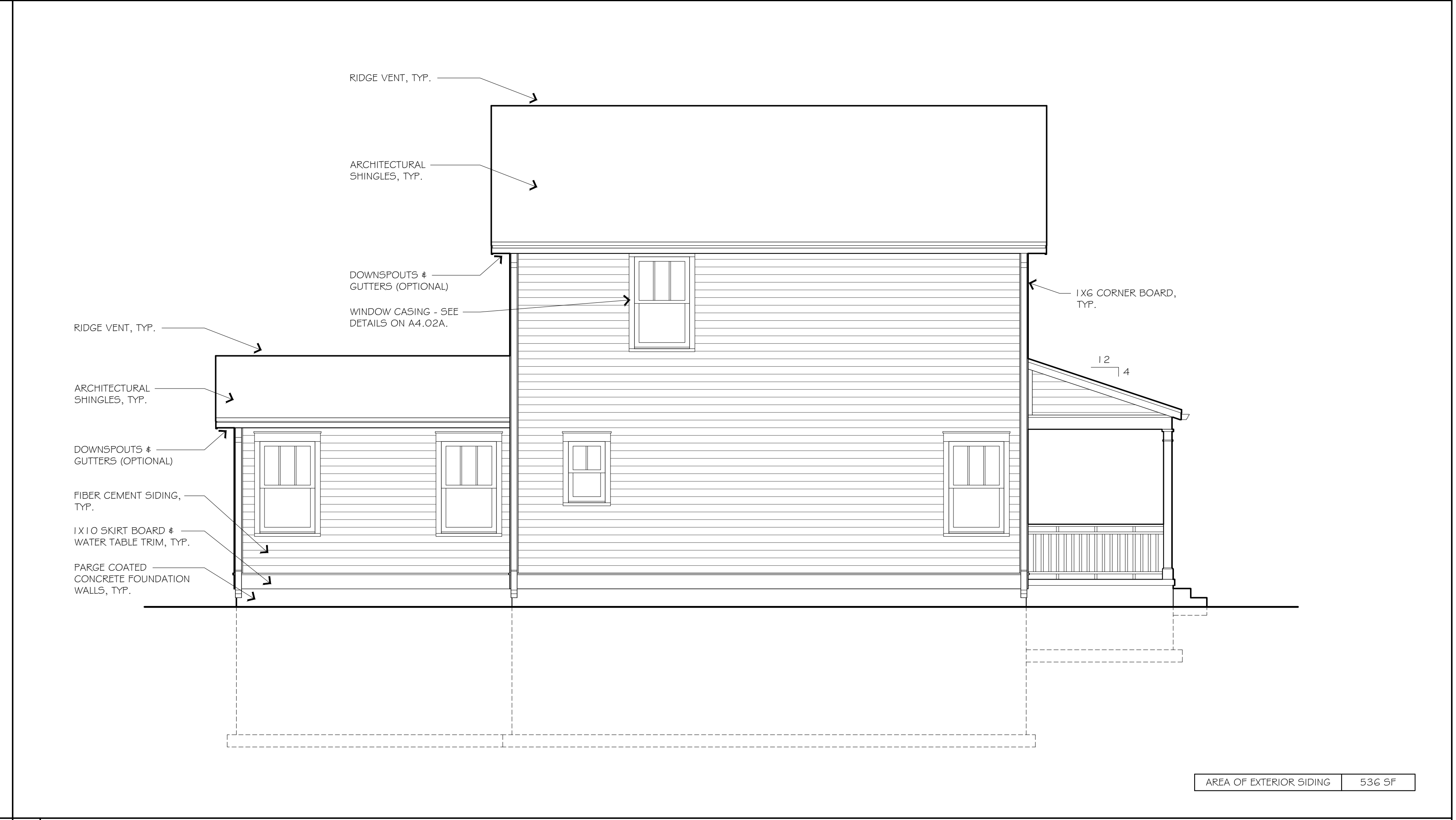
01 FRONT ELEVATION 1/4" = 1'-0"



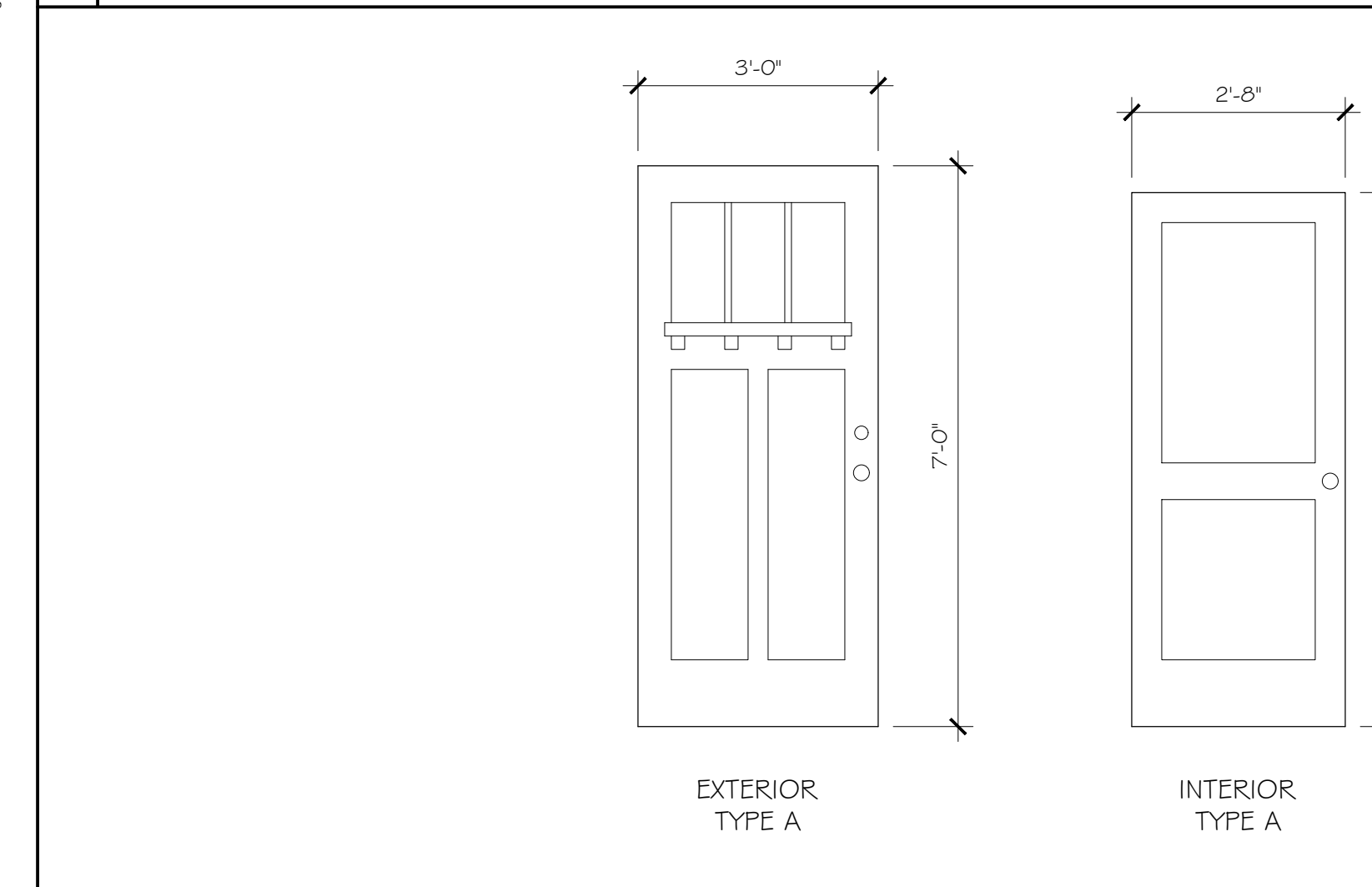
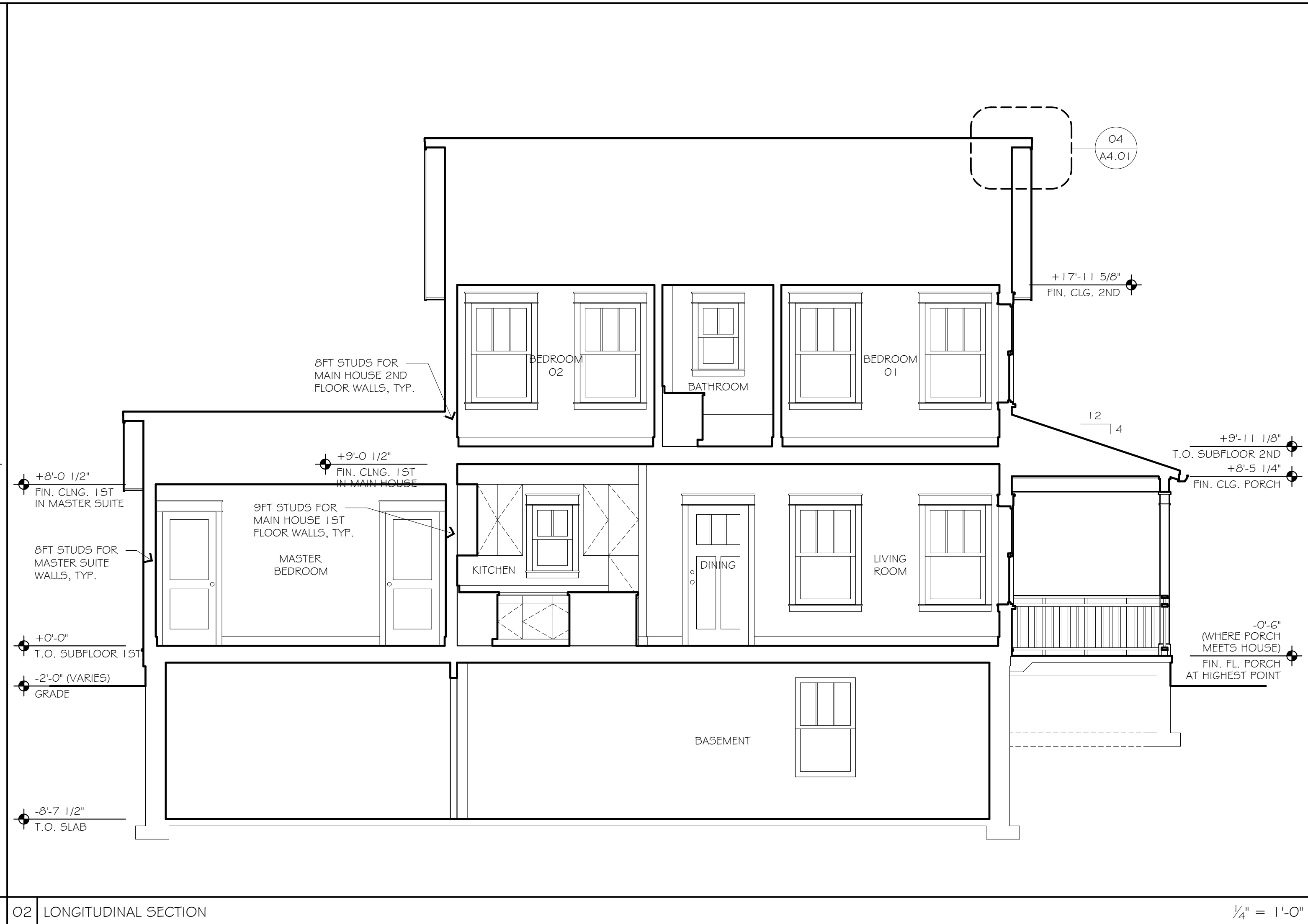
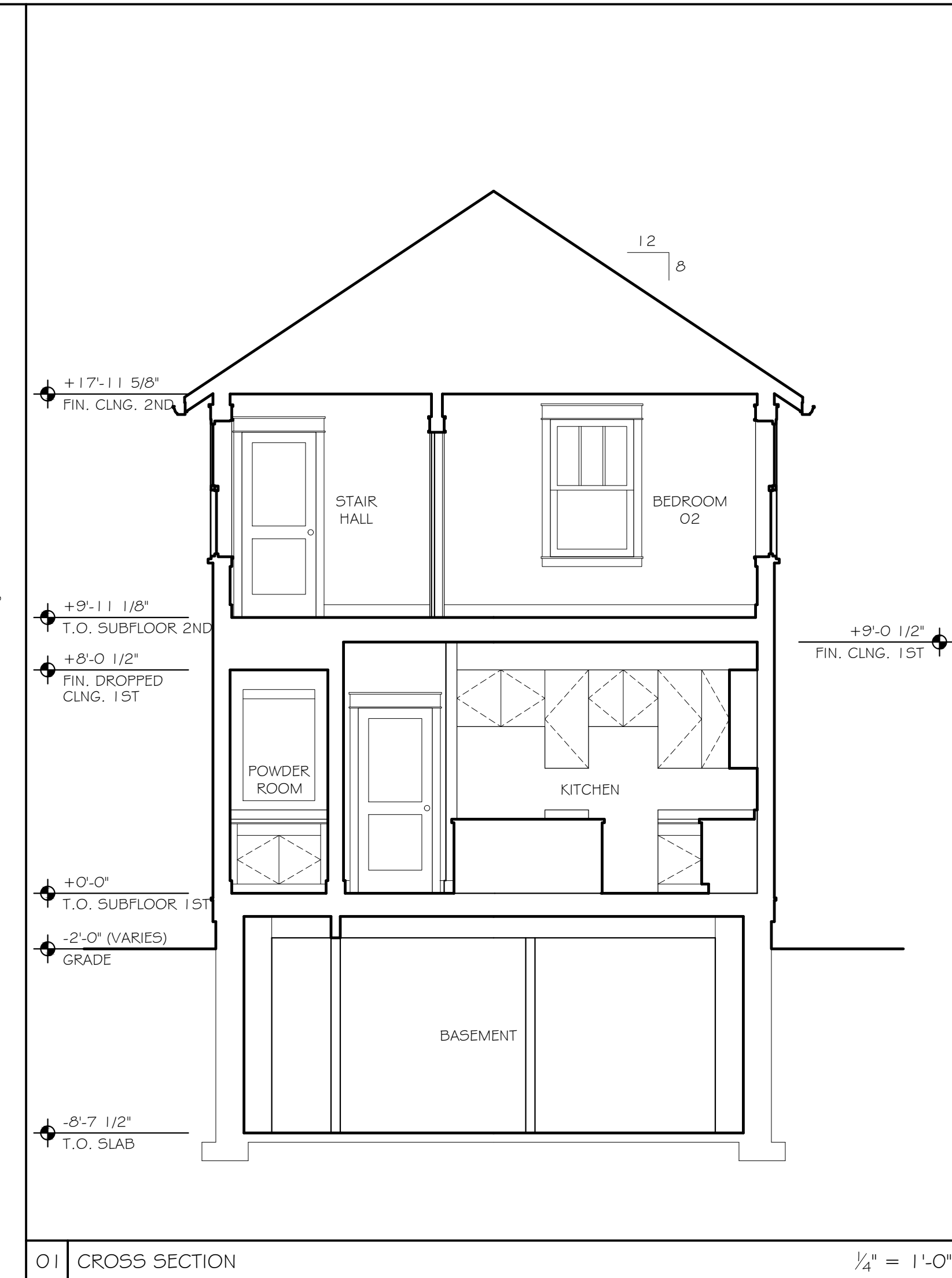
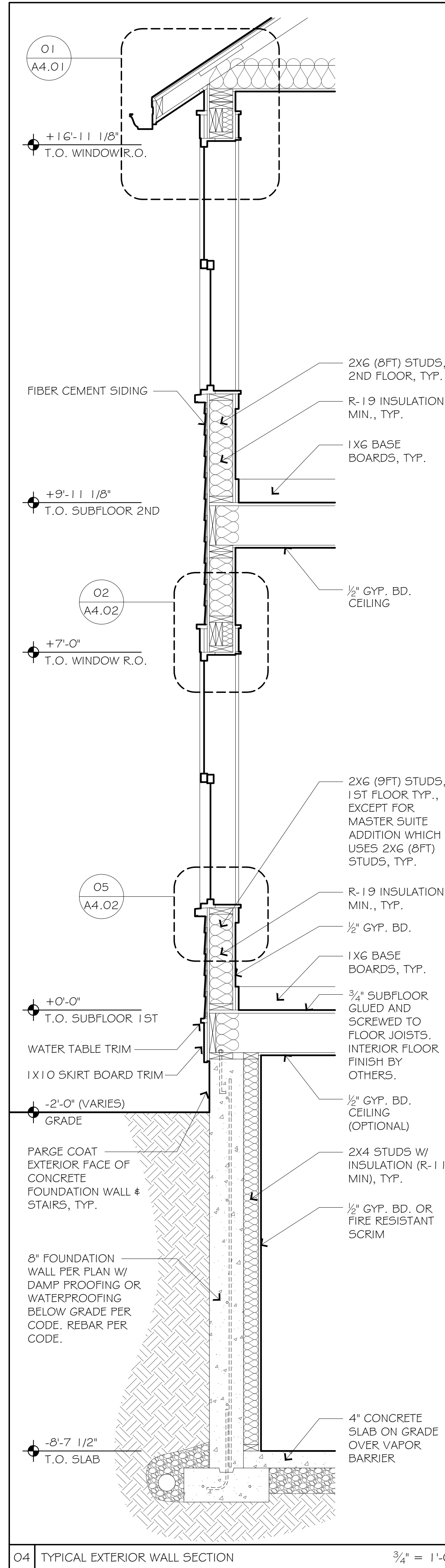
02 RIGHT ELEVATION 1/4" = 1'-0"



03 REAR ELEVATION 1/4" = 1'-0"



04 LEFT ELEVATION 1/4" = 1'-0"



03	DOOR SCHEDULE
----	---------------

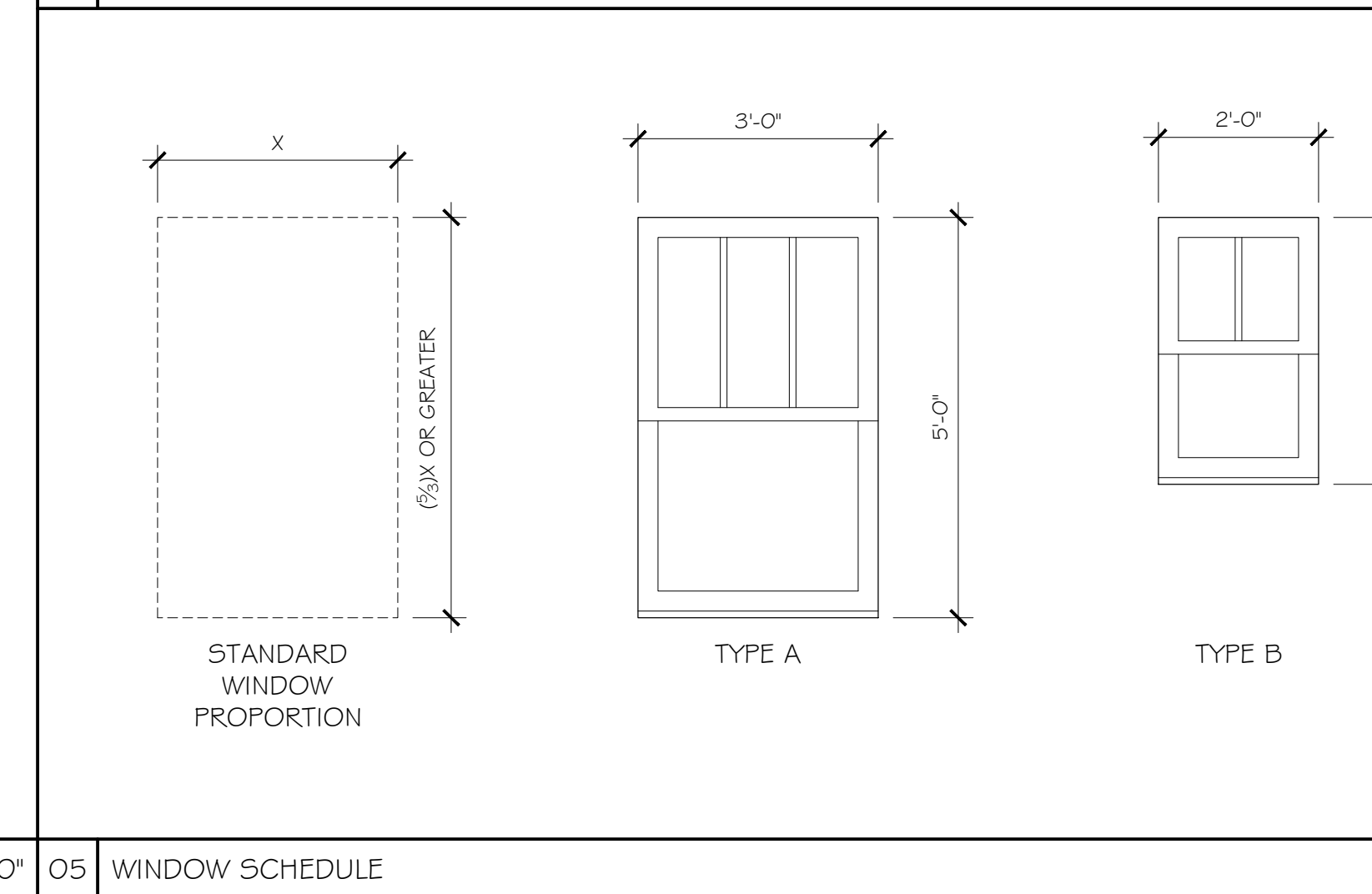
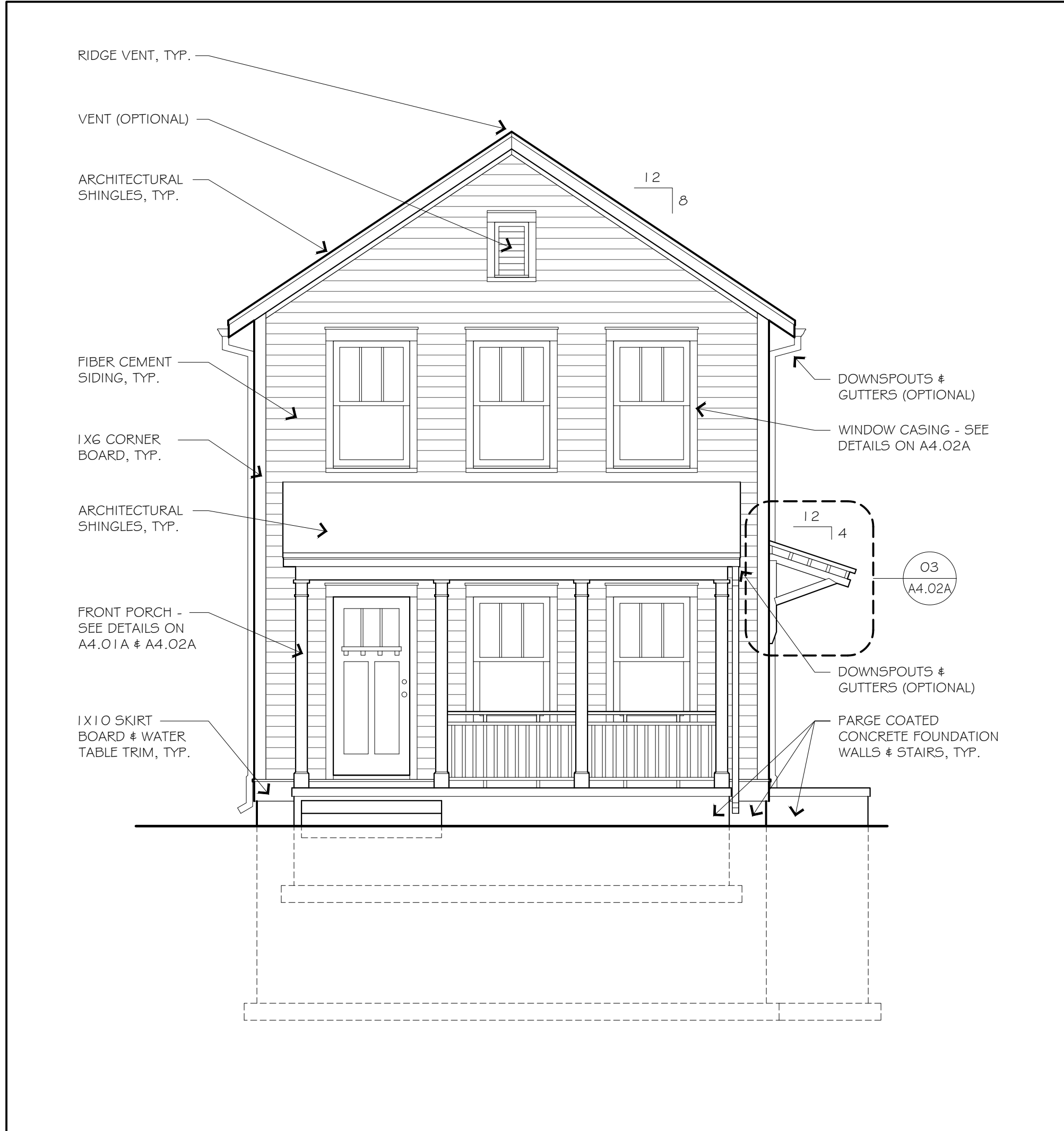


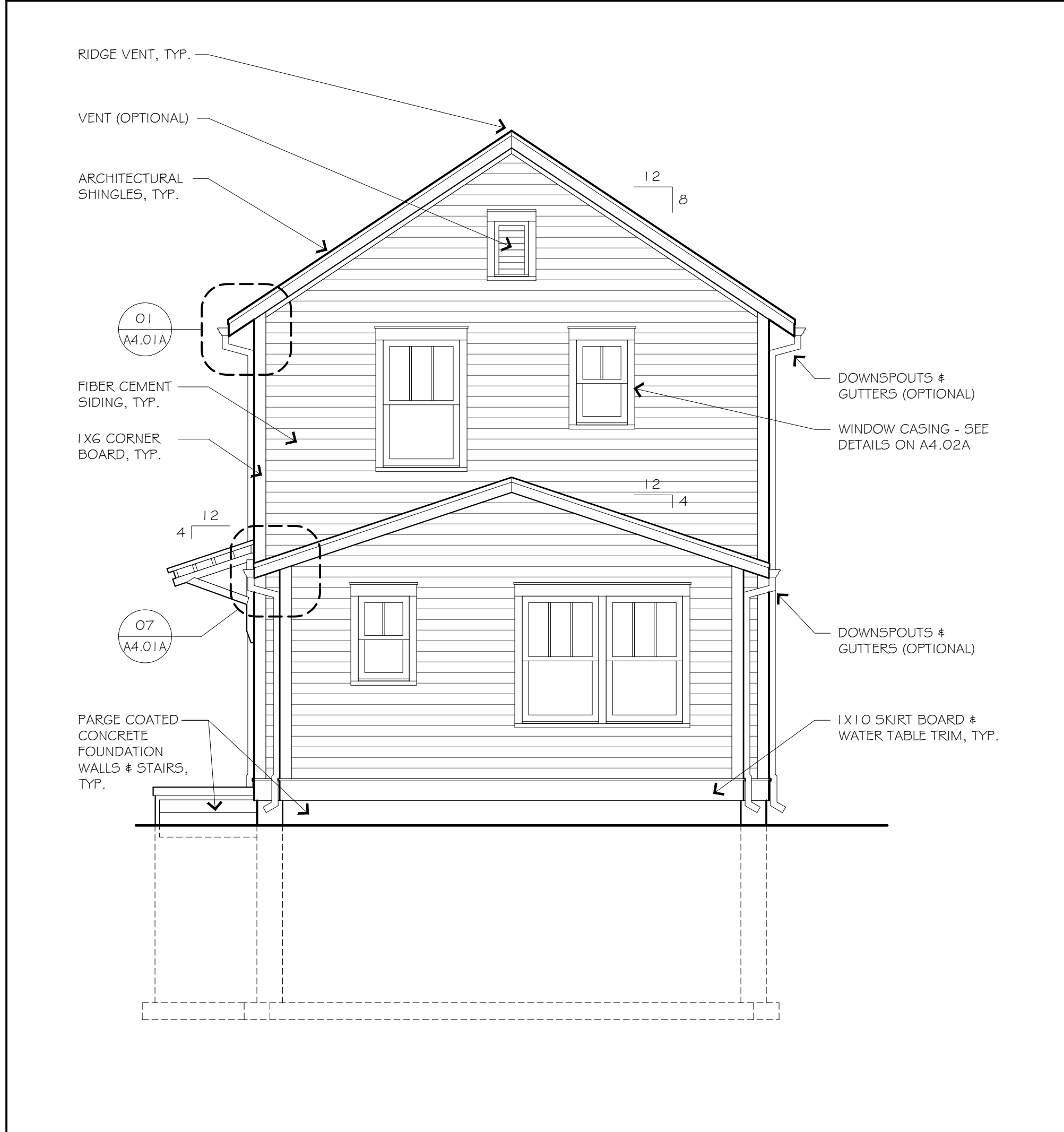
Diagram illustrating the dimensions for ganged windows. The height of the window unit is 3'-4". The maximum width of the muntins is 7/8". The spacing between the window units is 3 1/2".

GANGED WINDOWS

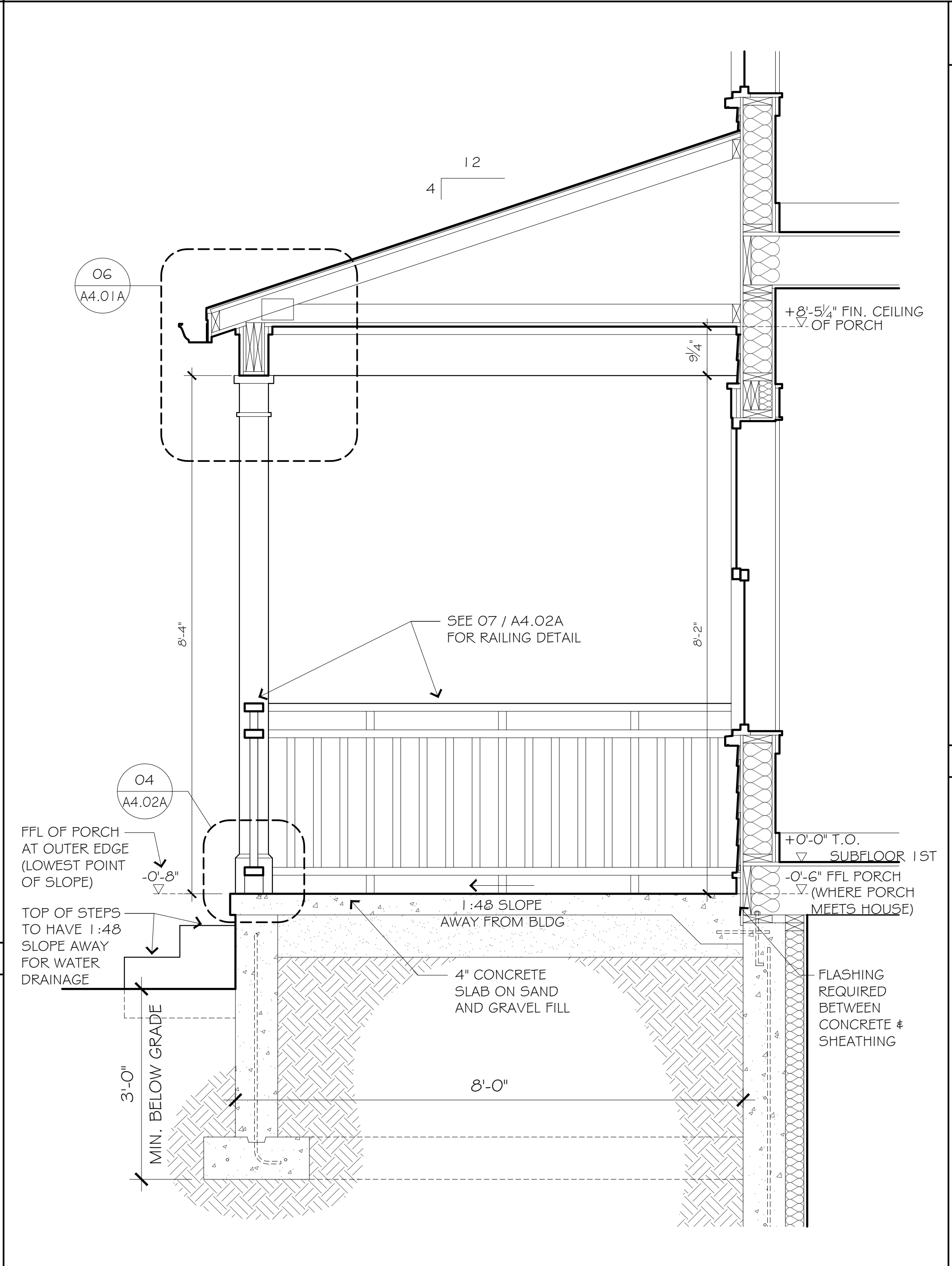
WINDOW SCHEDULE					
TYPE	FRAME SIZE		QUANTITY	STYLE	NOTES
	WIDTH	HEIGHT			
A	3'-0"	5'-0"	19	DOUBLE HUNG	TO MEET EGRESS CODE REQUIREMENTS, TEMPERED GLASS AS REQUIRED BY CODE.
B	2'-0"	3'-4"	5	DOUBLE HUNG	TEMPERED GLASS AS REQUIRED BY CODE.



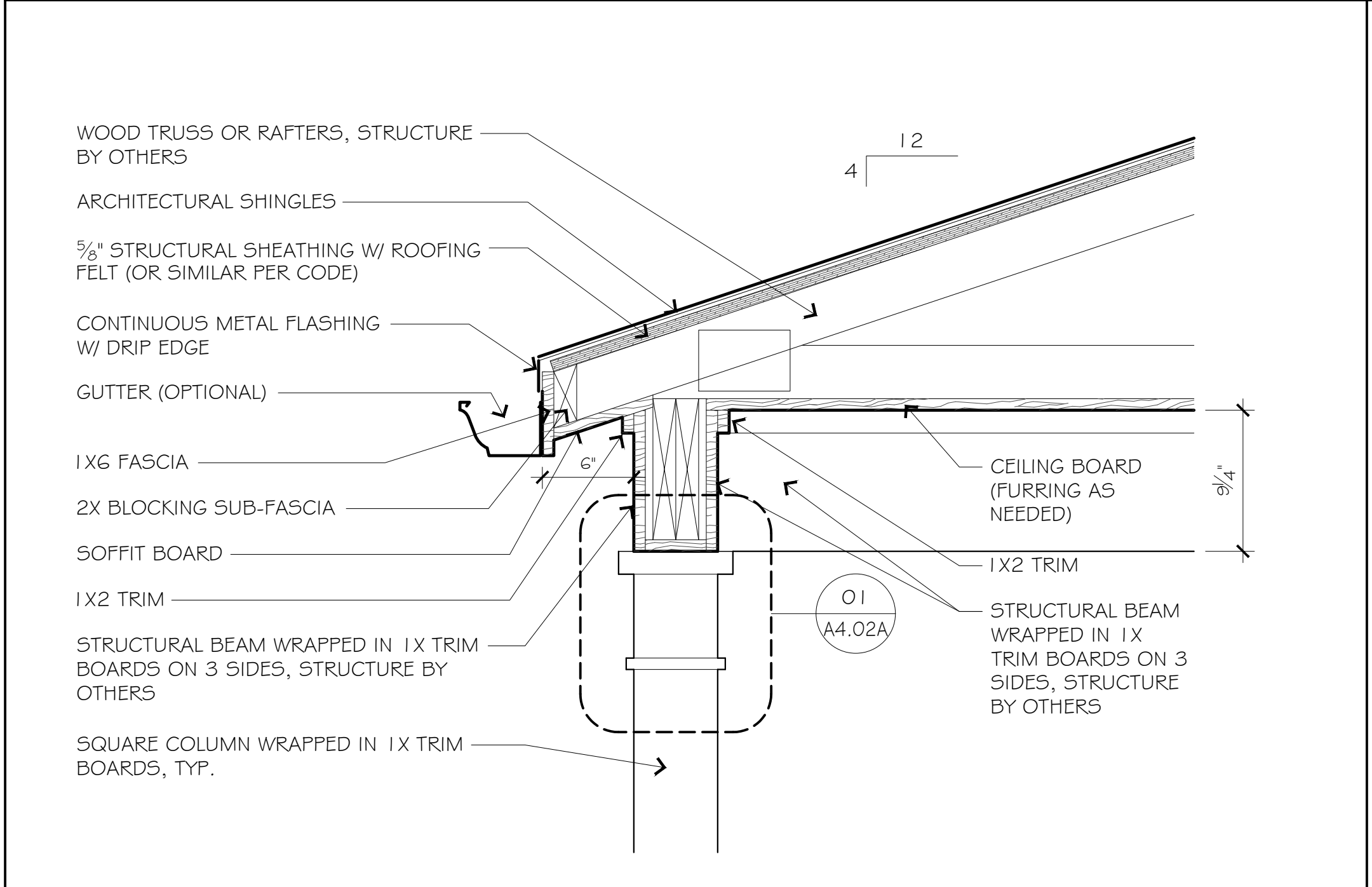
02 FRONT ELEVATION 1/4" = 1'-0"



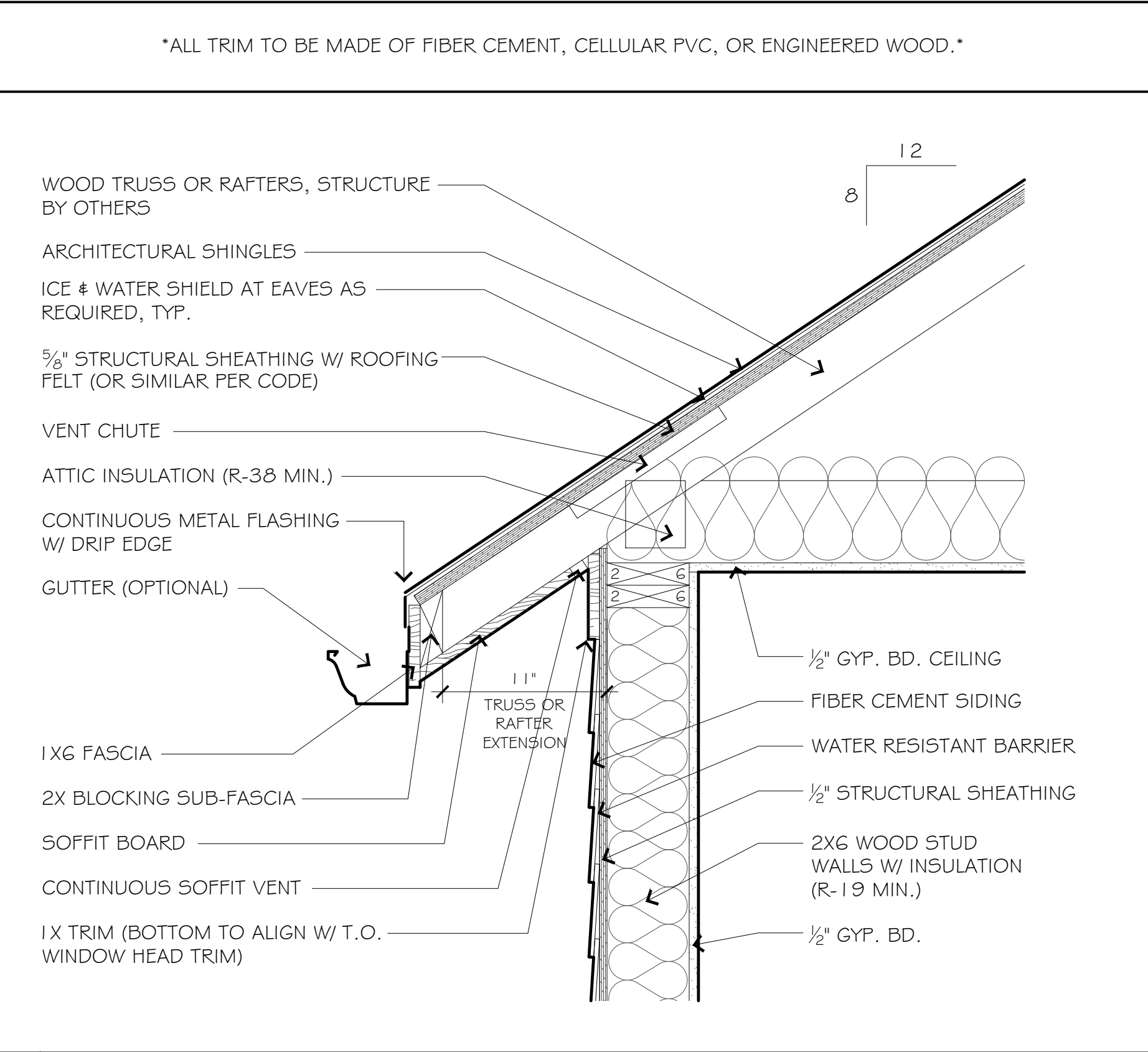
05 REAR ELEVATION 1/4" = 1'-0"



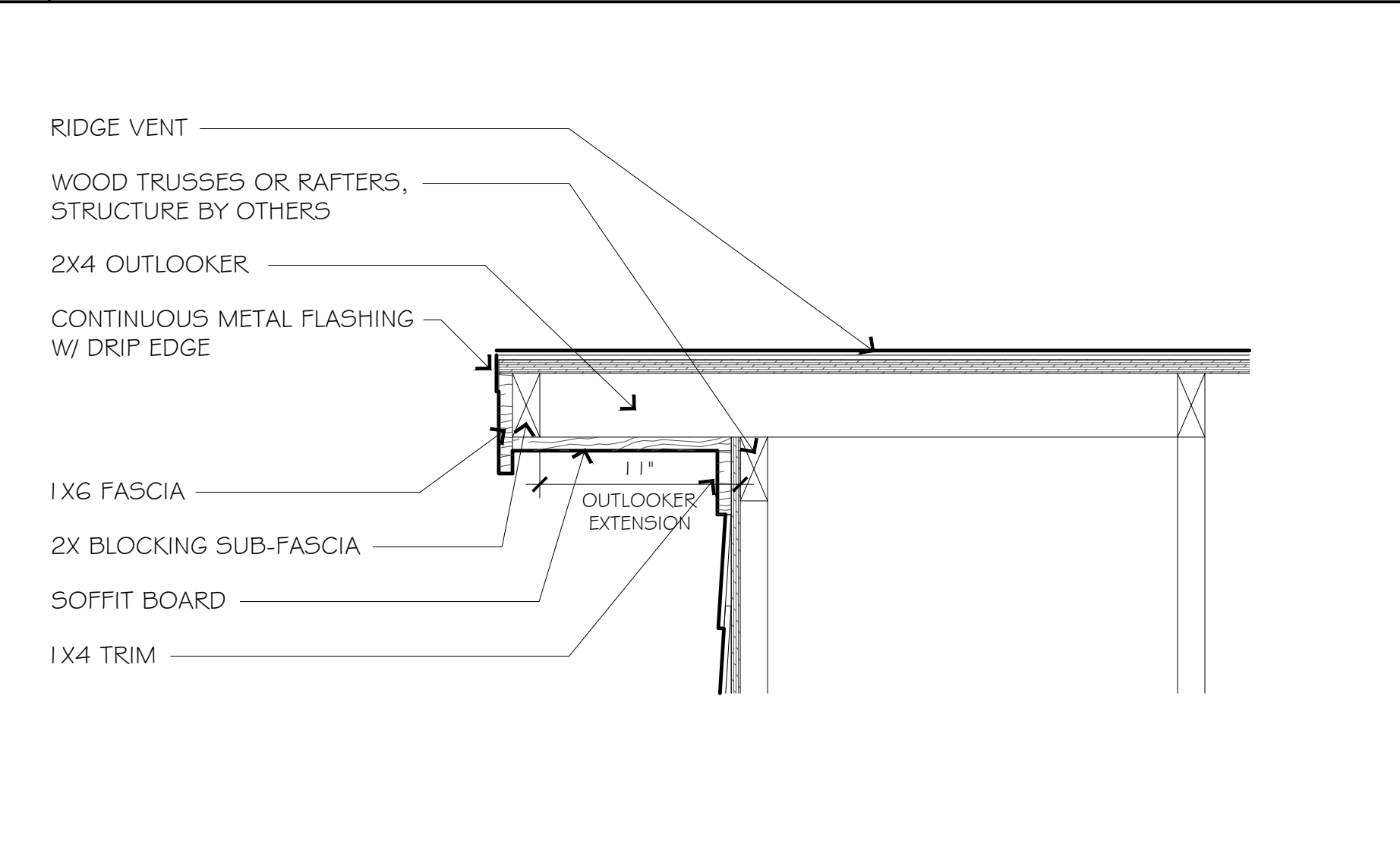
03 FRONT PORCH SECTION 3/4" = 1'-0"



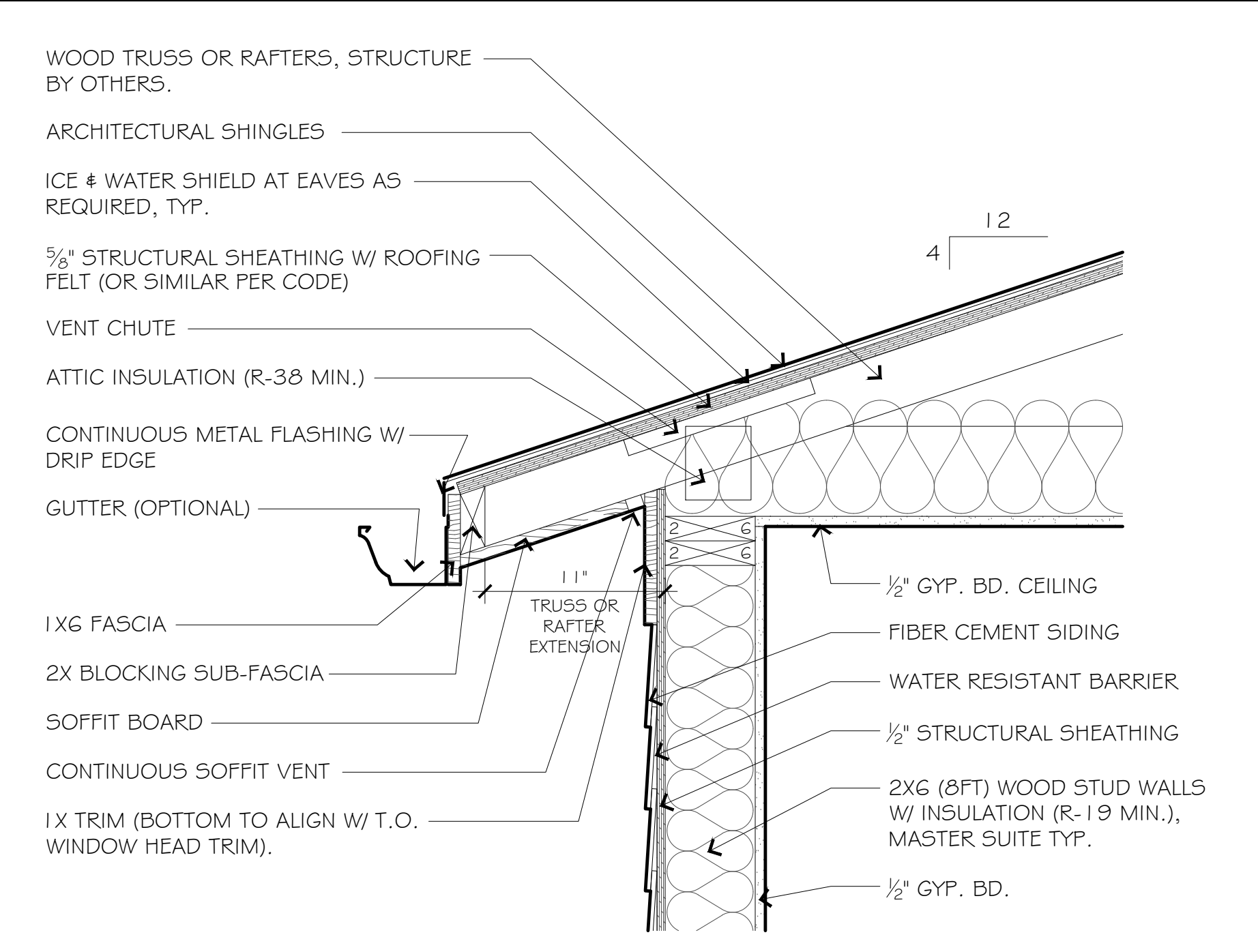
06 FRONT PORCH - EAVE DETAIL 1 1/2" = 1'-0"



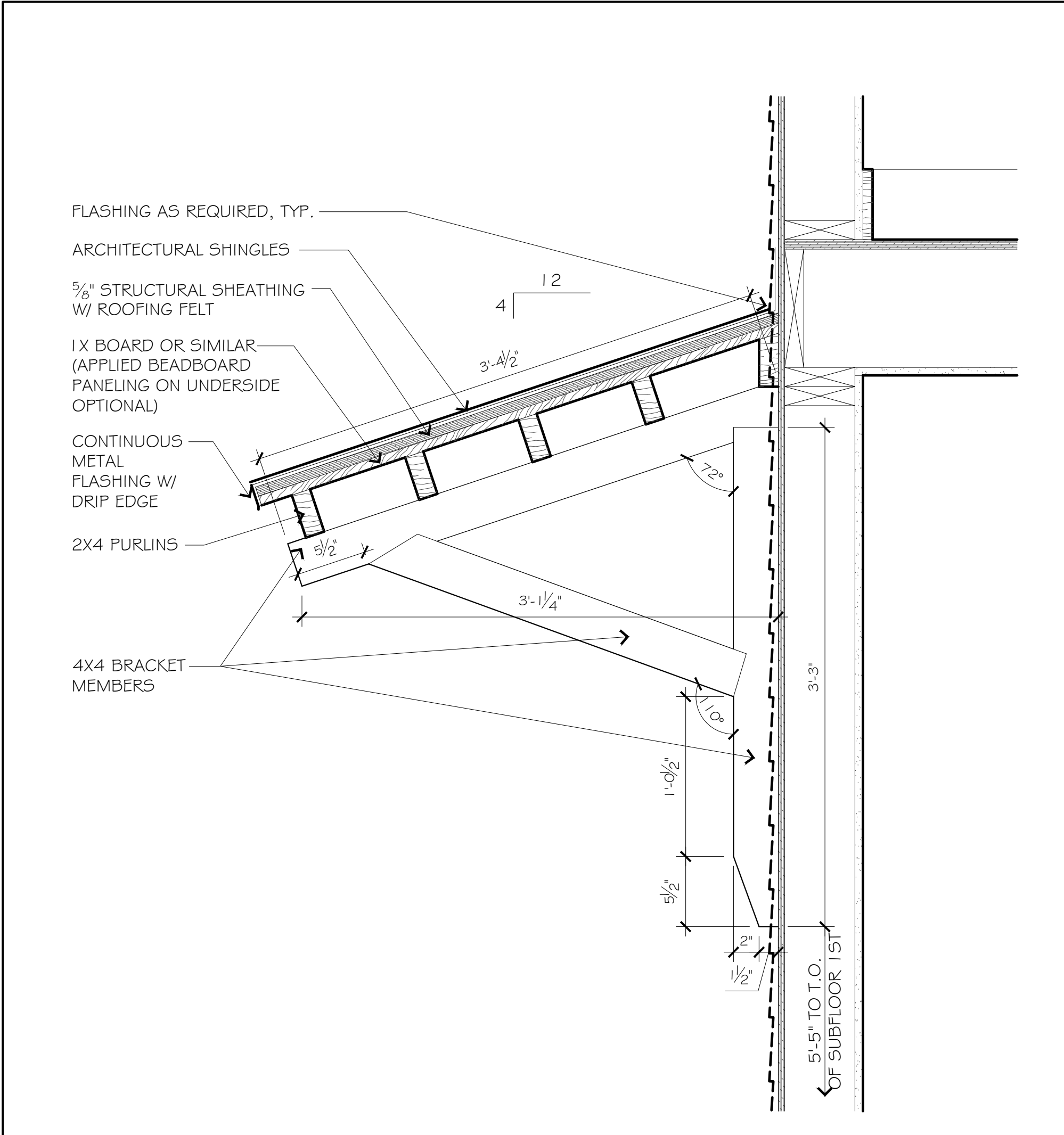
01 MAIN ROOF - EAVE DETAIL 1 1/2" = 1'-0"



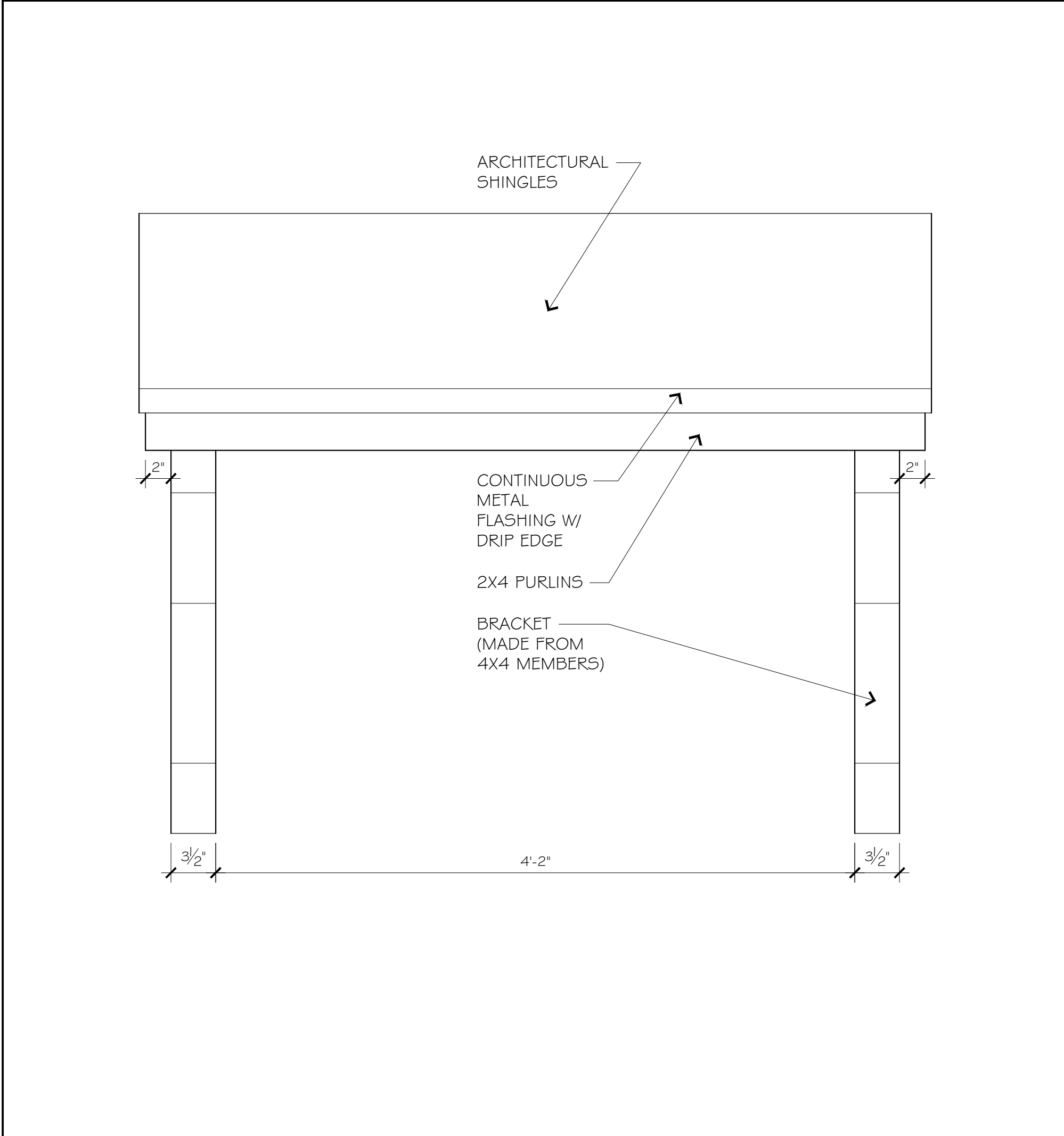
04 MAIN ROOF - GABLE END DETAIL 1 1/2" = 1'-0"



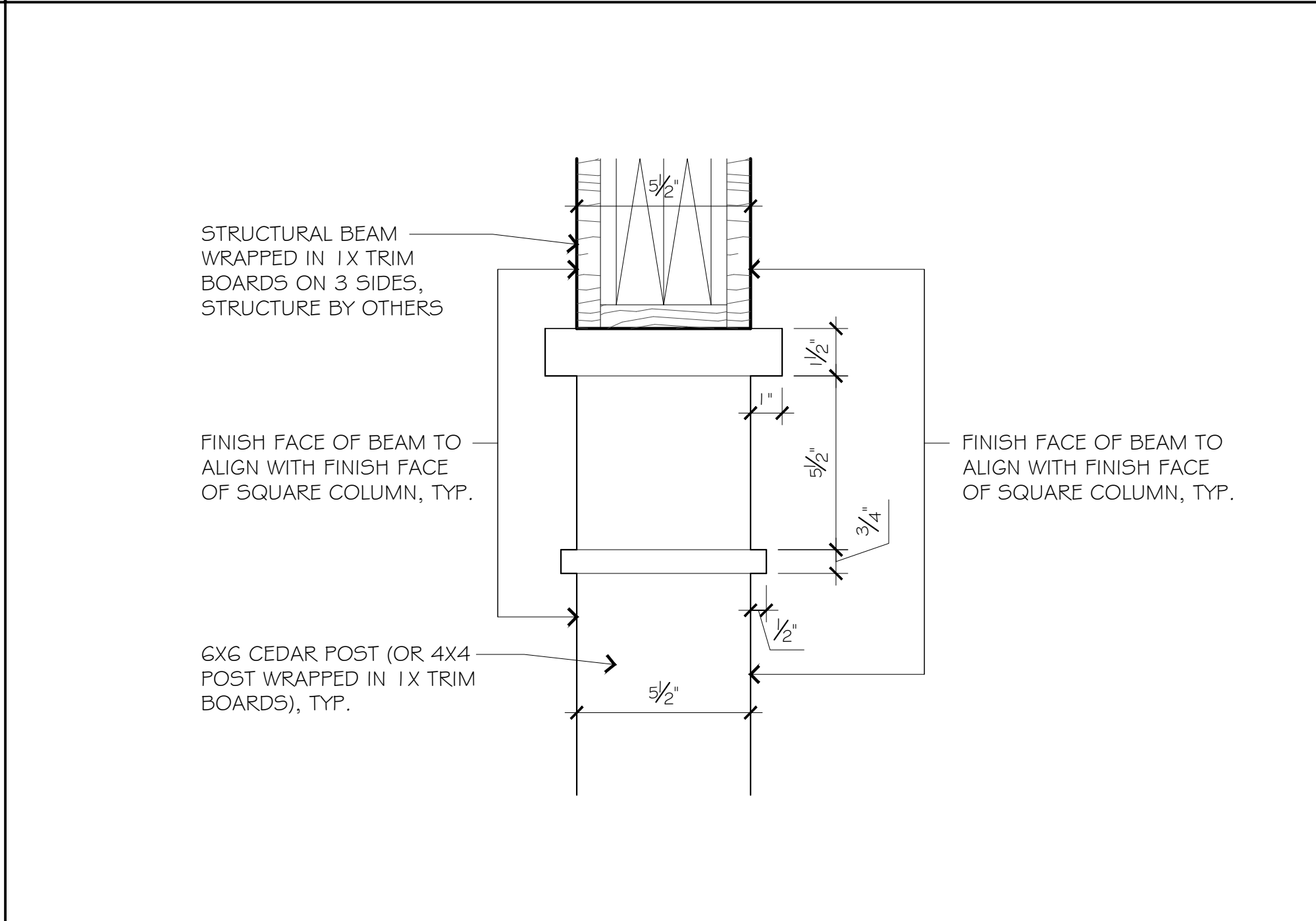
07 MASTER SUITE ADDITION - EAVE DETAIL 1 1/2" = 1'-0"



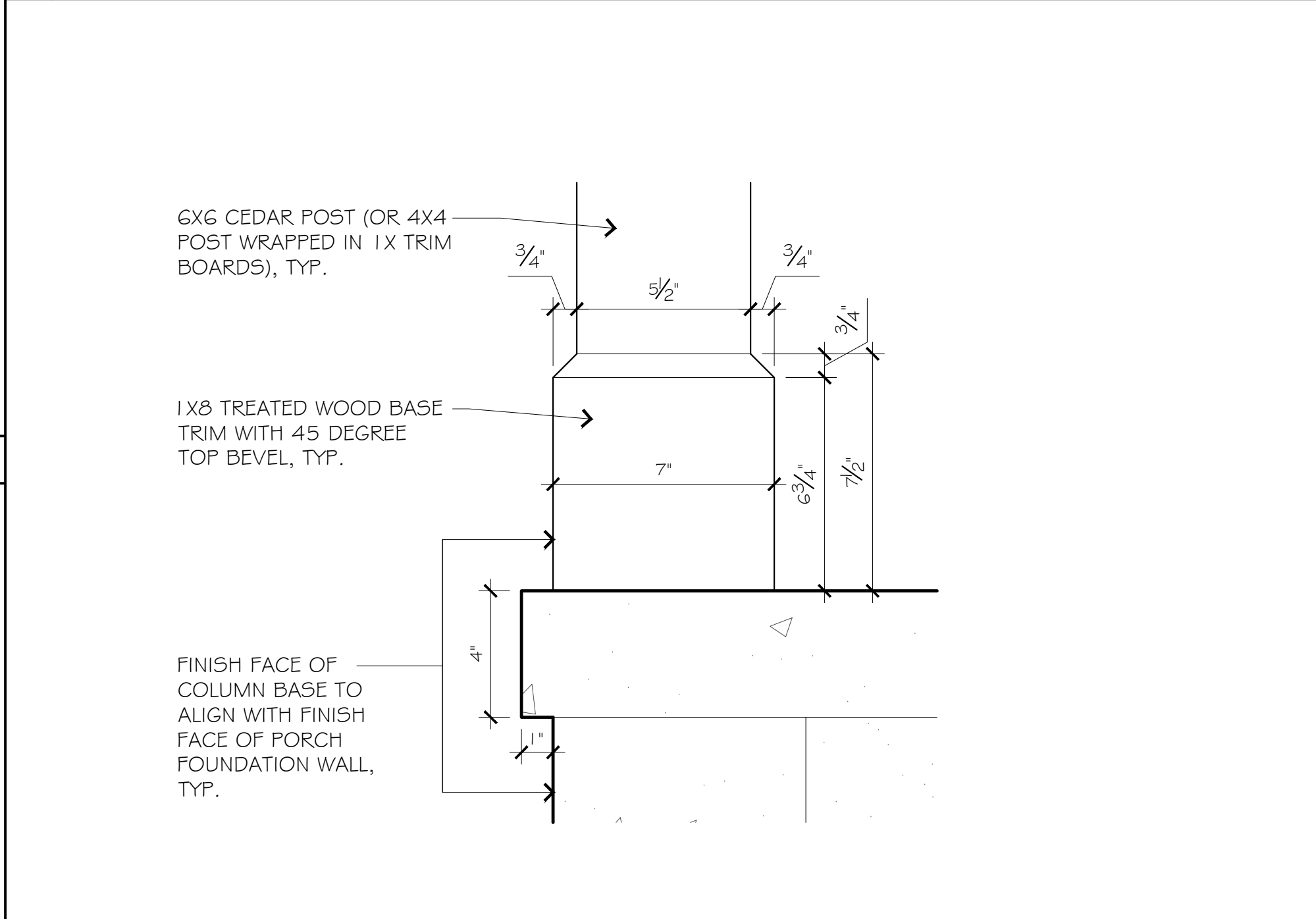
O3 AWNING - SECTION 1/2" = 1'-0"



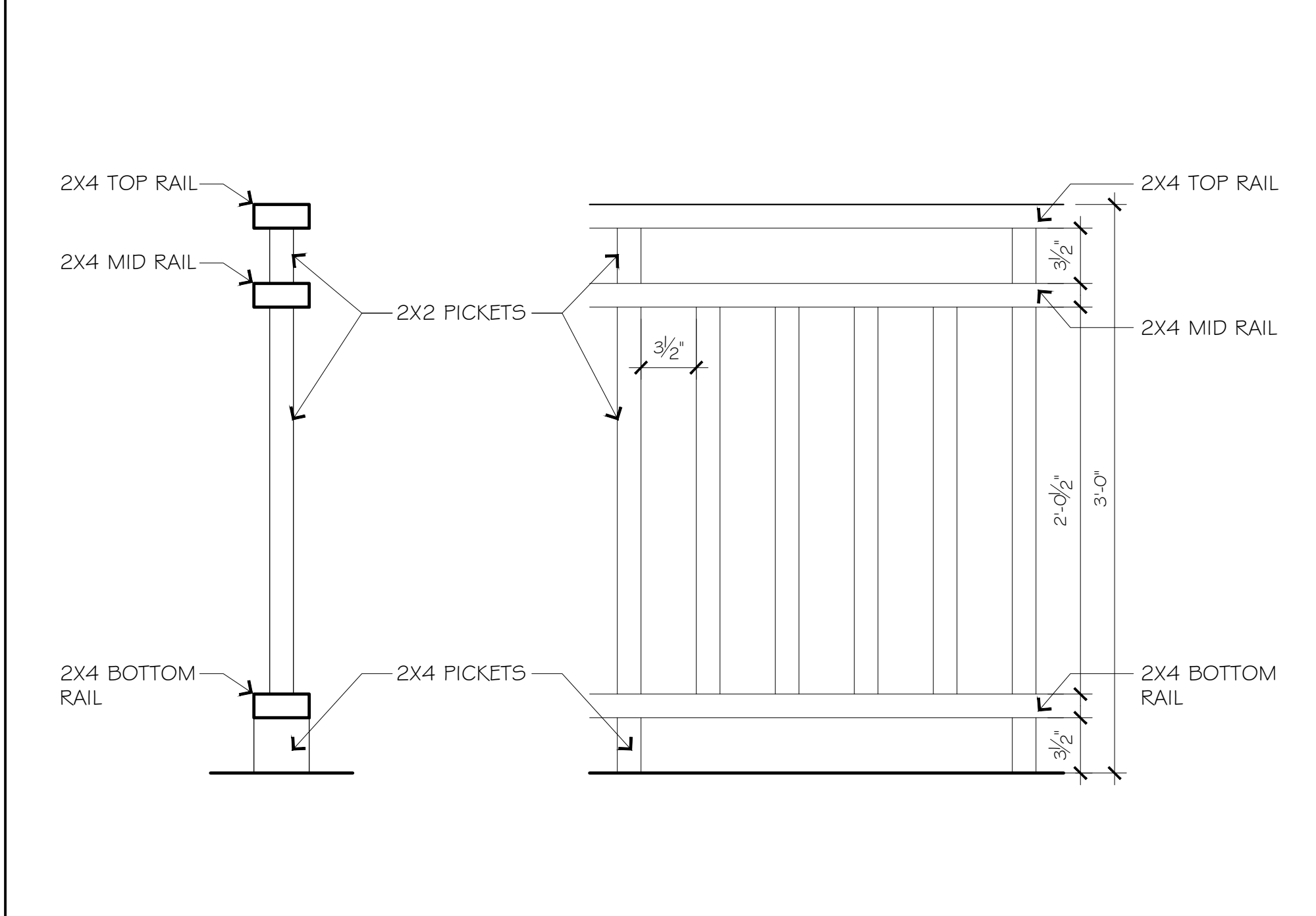
OG AWNING - FRONT ELEVATION 1/2" = 1'-0"



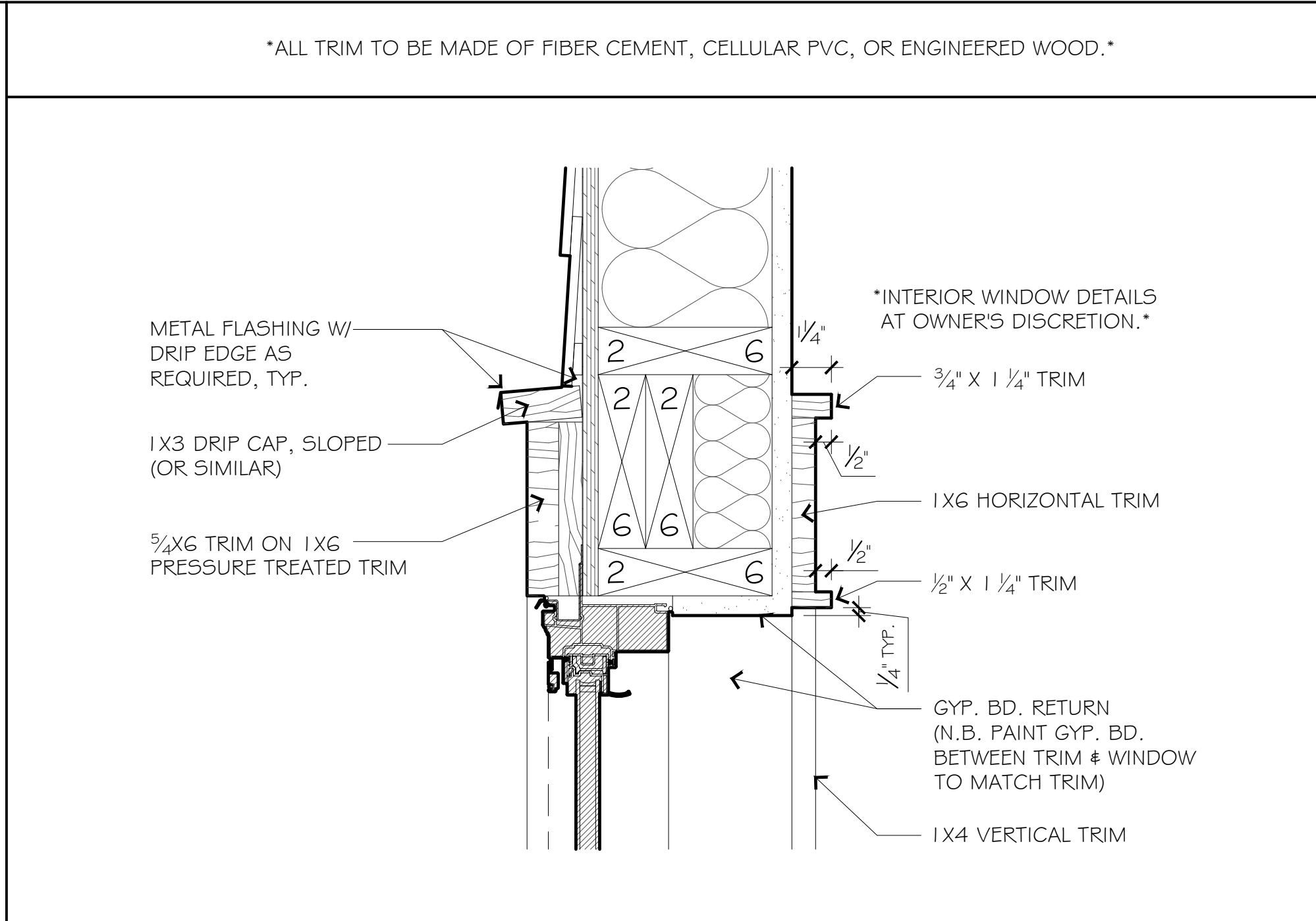
O1 COLUMN CAPITAL DETAIL 3" = 1'-0"



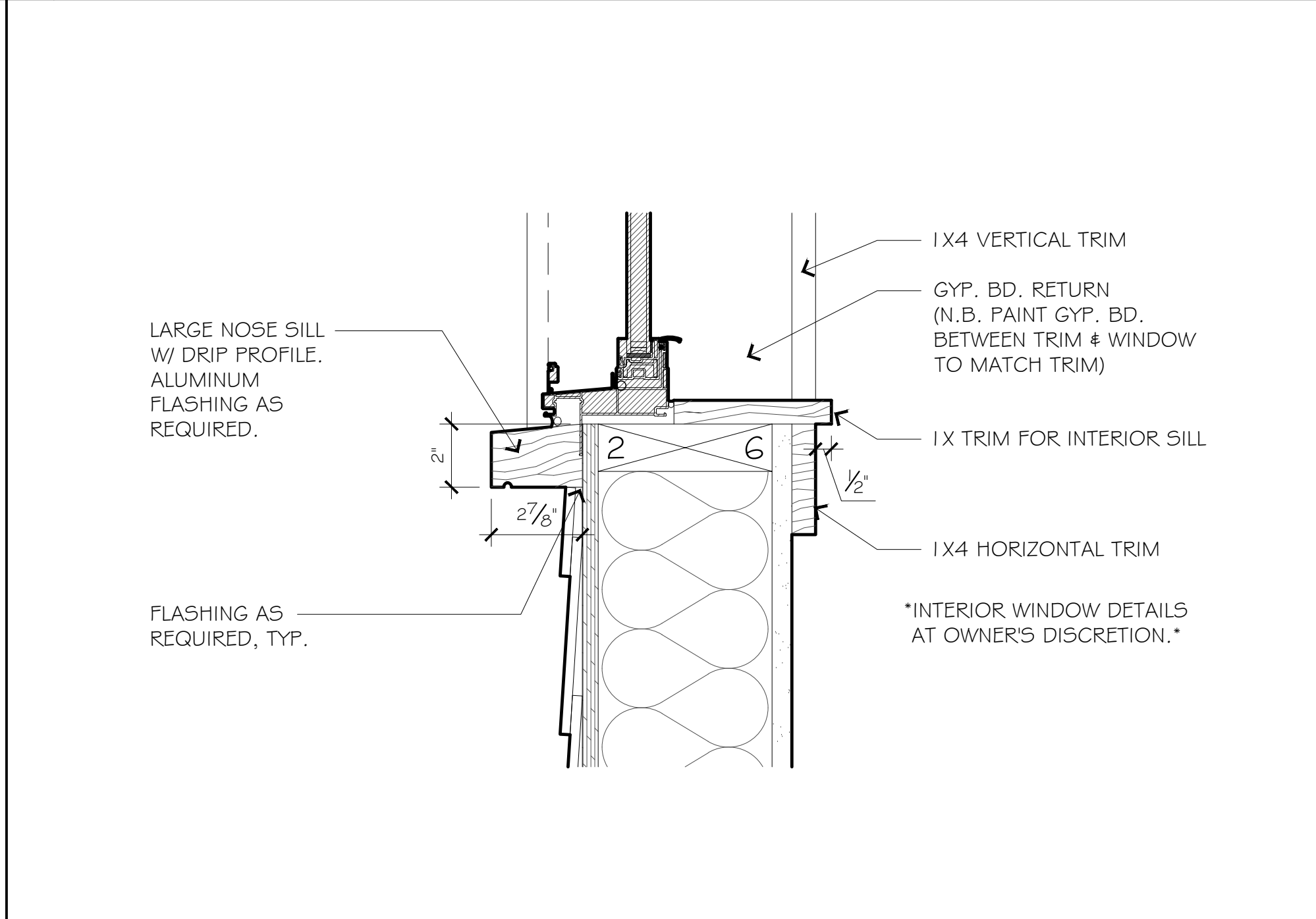
O4 COLUMN BASE & PORCH NOSING DETAIL 3" = 1'-0"



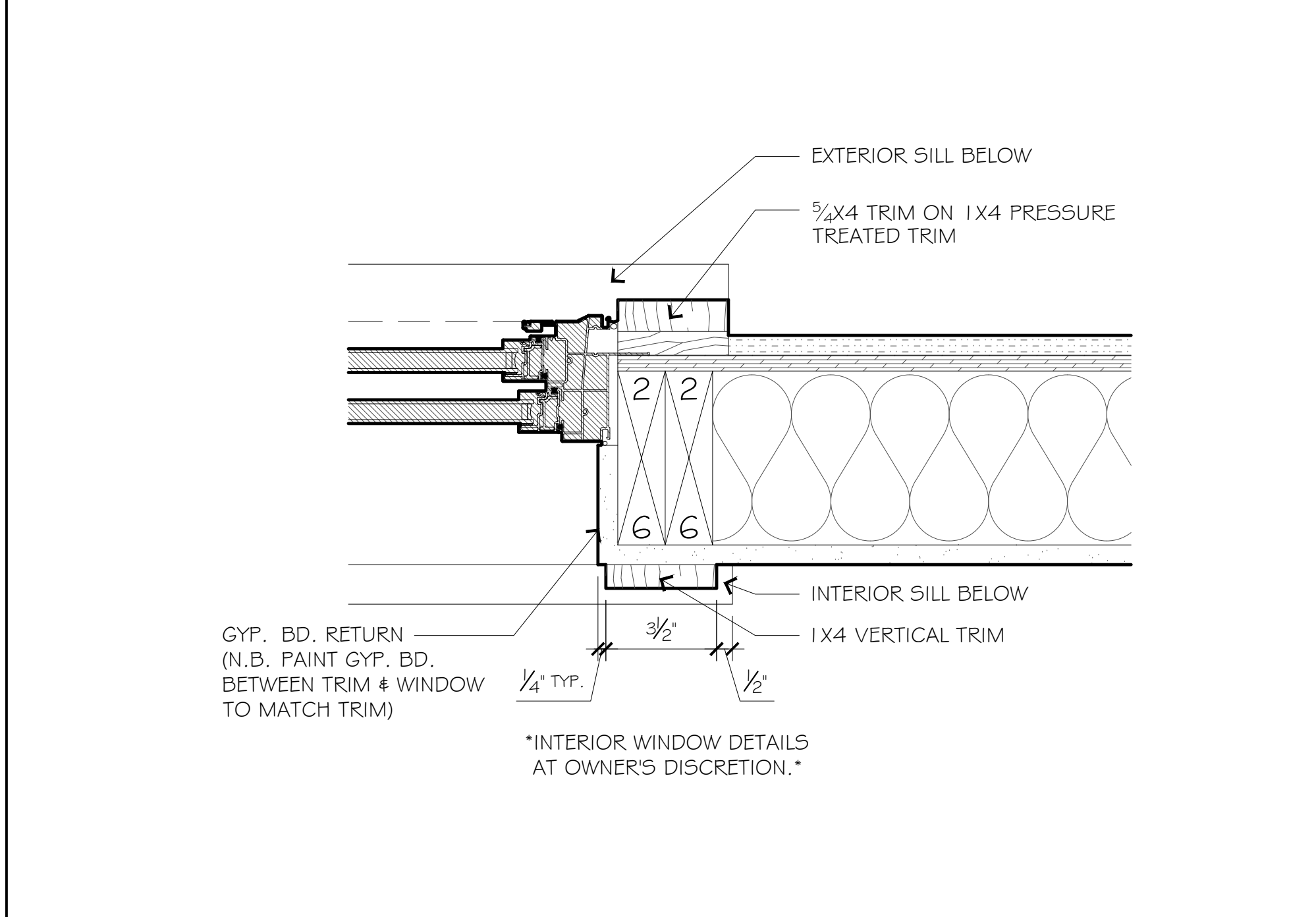
O7 FRONT PORCH RAILING DETAIL 1/2" = 1'-0"



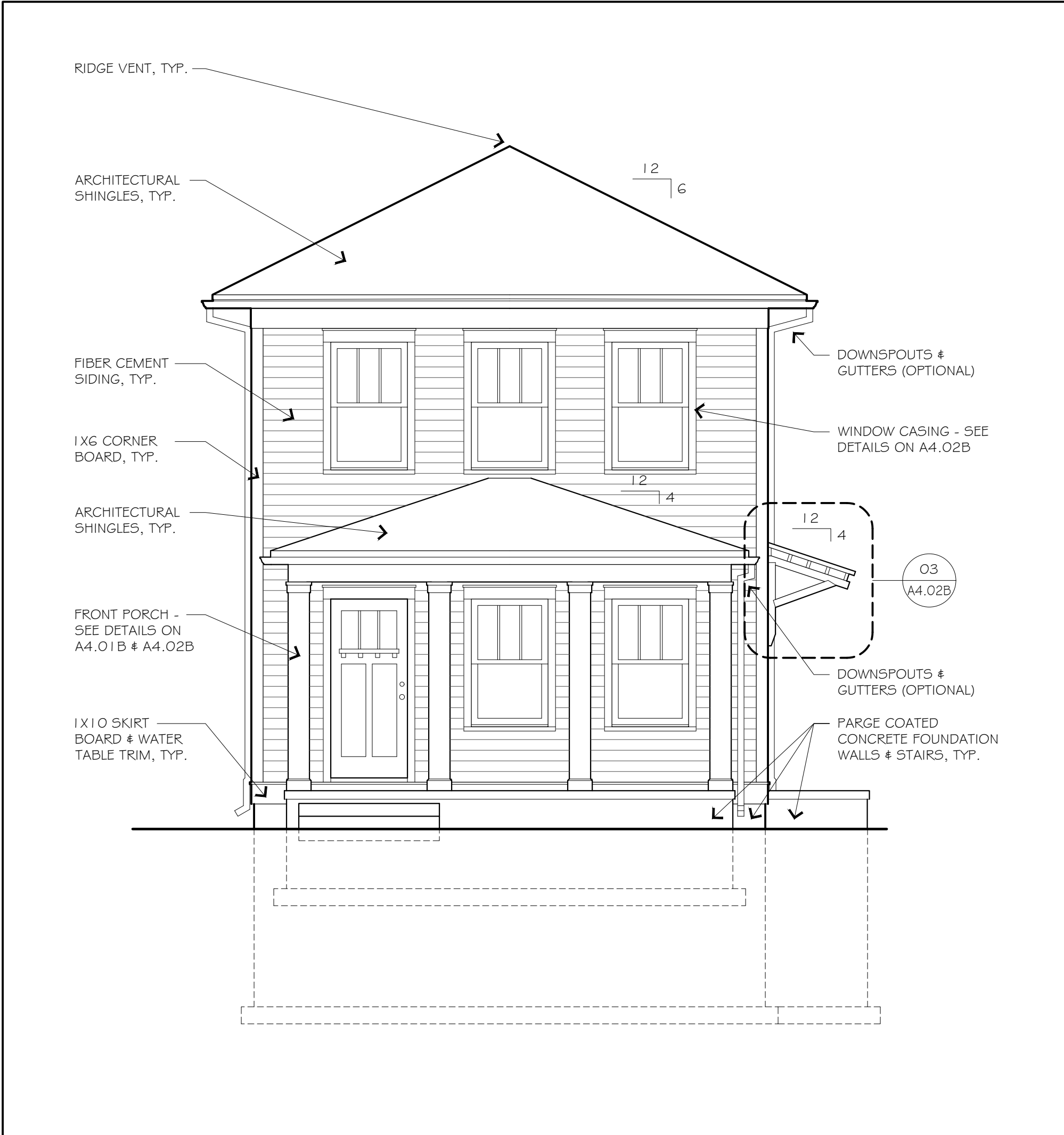
O2 WINDOW HEAD 3" = 1'-0"



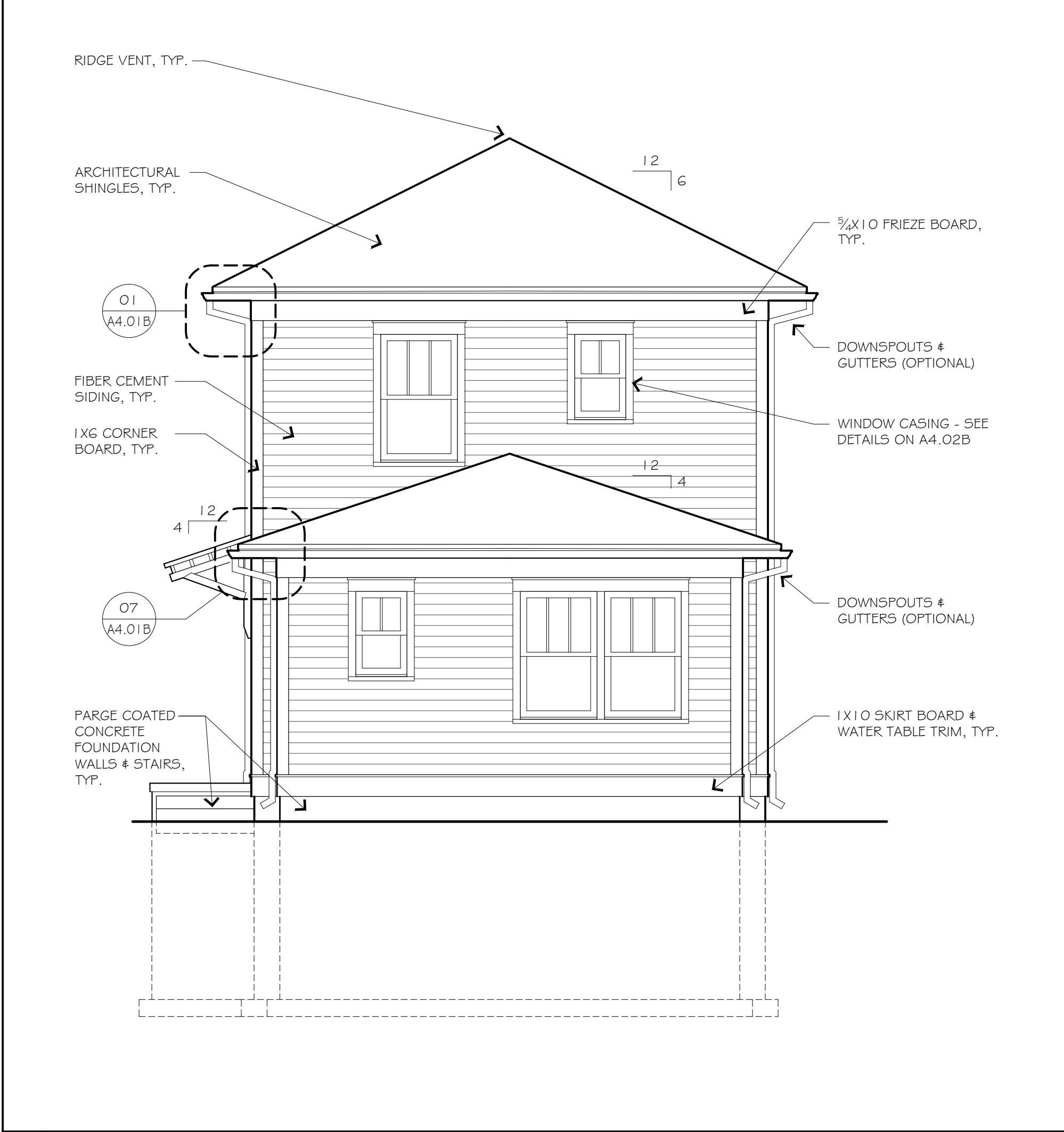
O5 WINDOW SILL 3" = 1'-0"



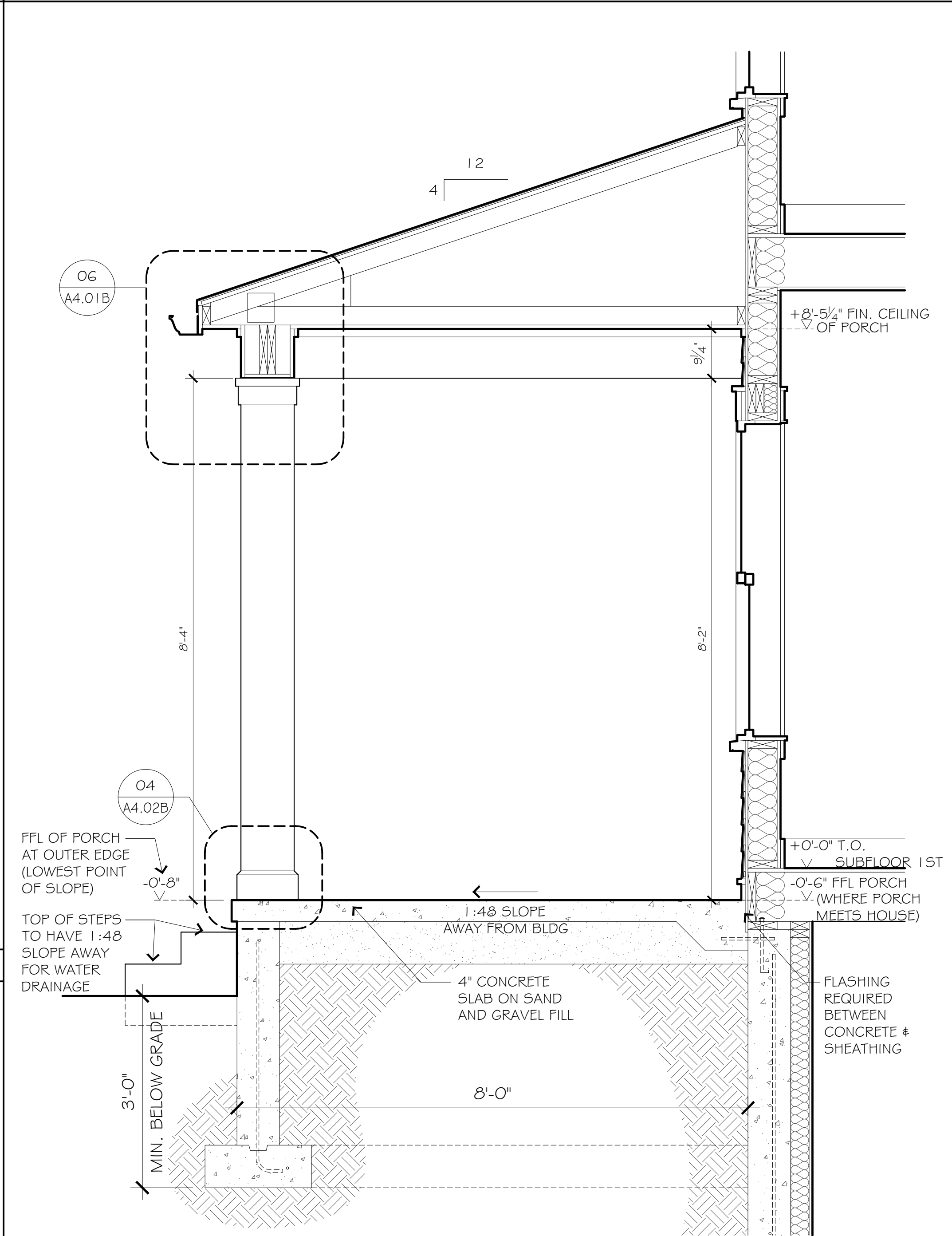
O8 WINDOW JAMB 3" = 1'-0"



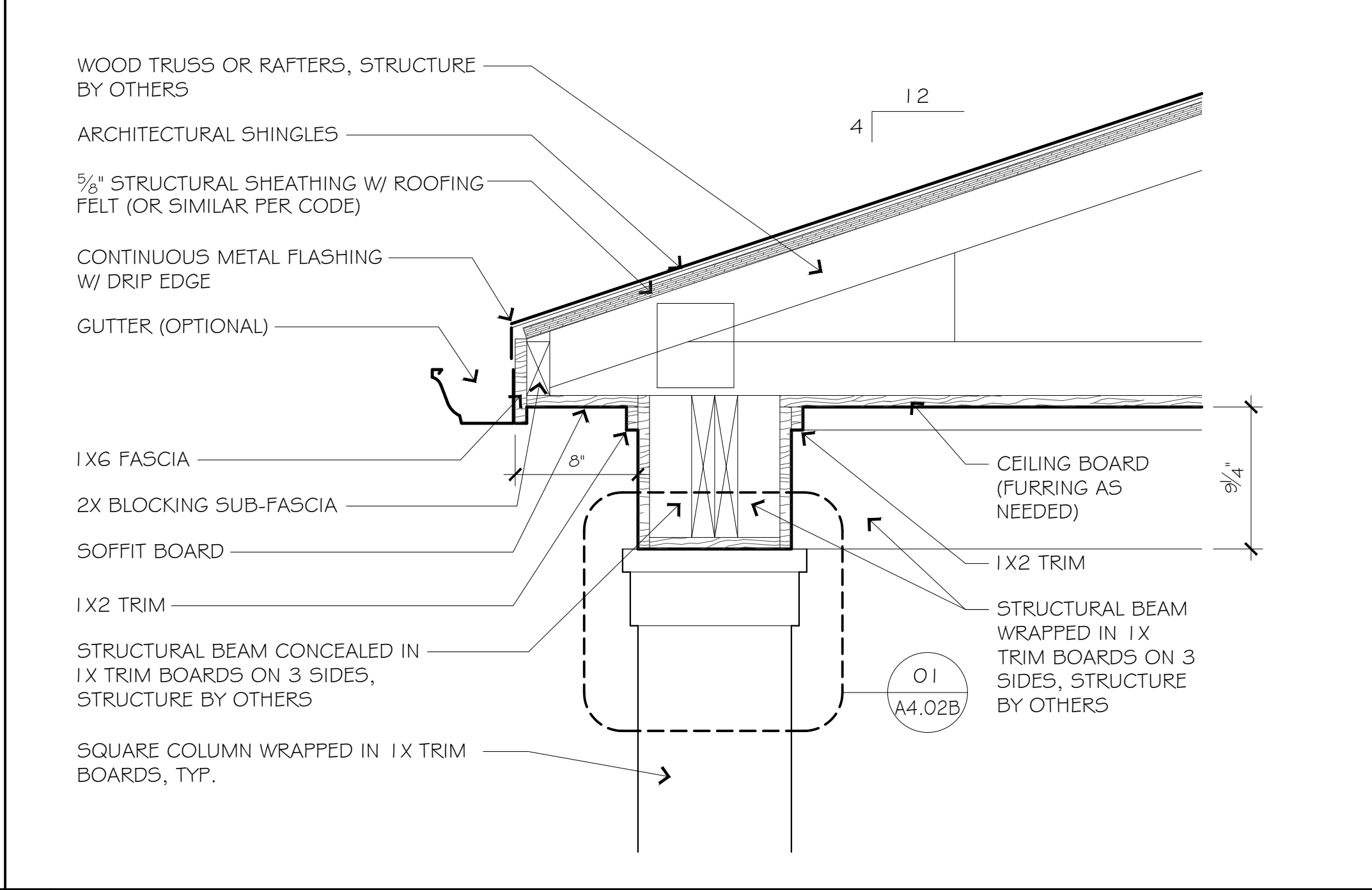
02 FRONT ELEVATION 1/4" = 1'-0"



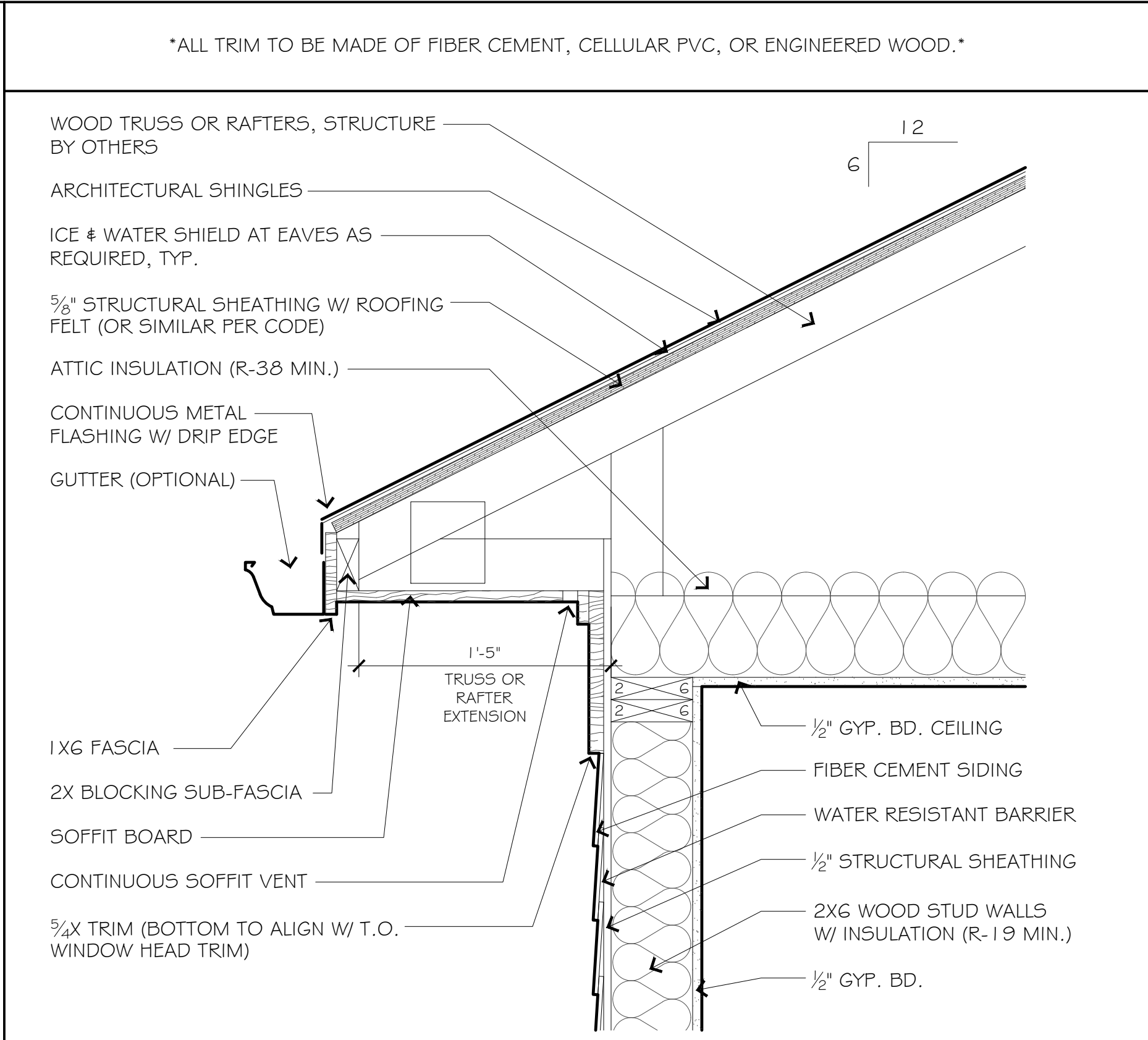
05 REAR ELEVATION 1/4" = 1'-0"



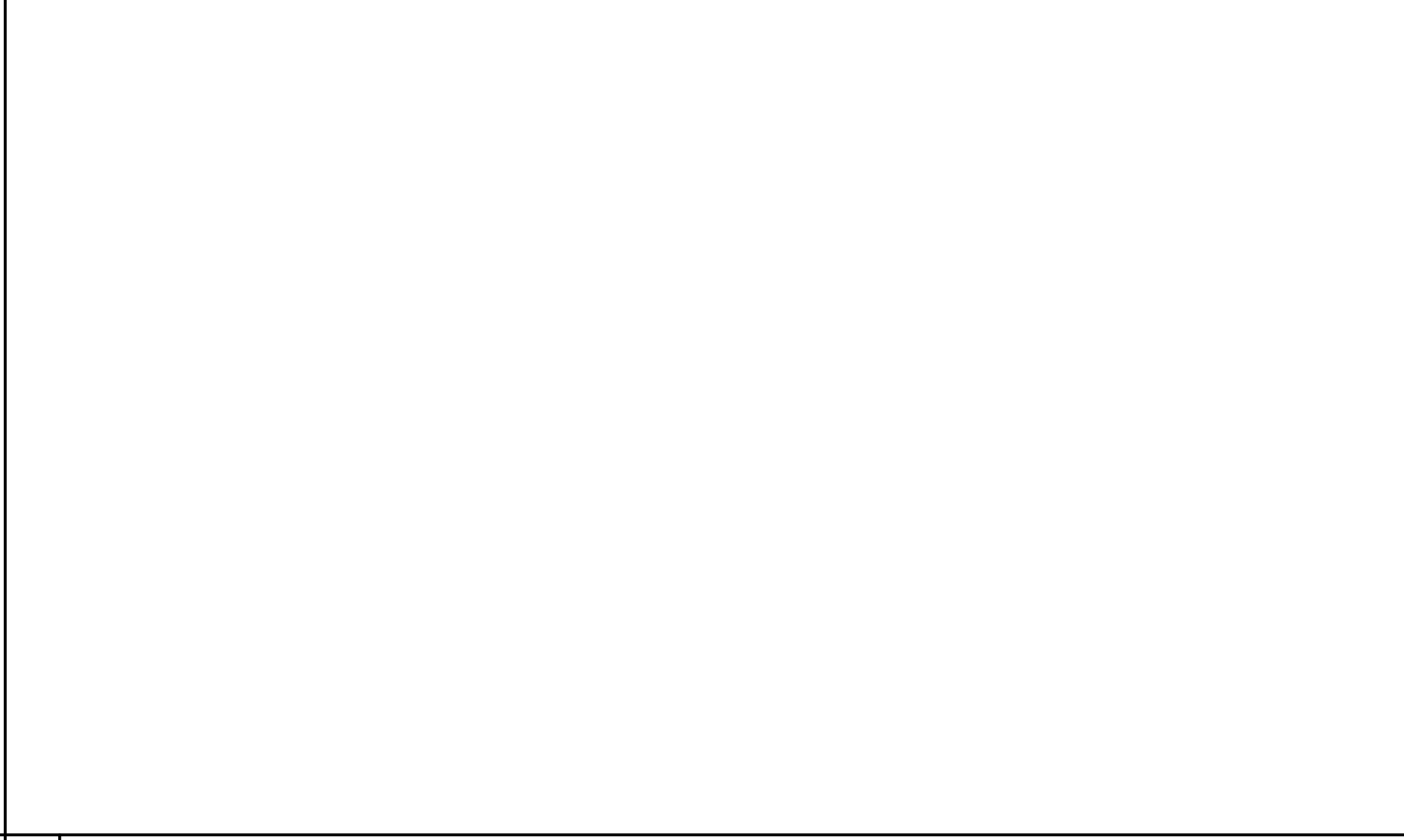
03 FRONT PORCH SECTION 3/4" = 1'-0"



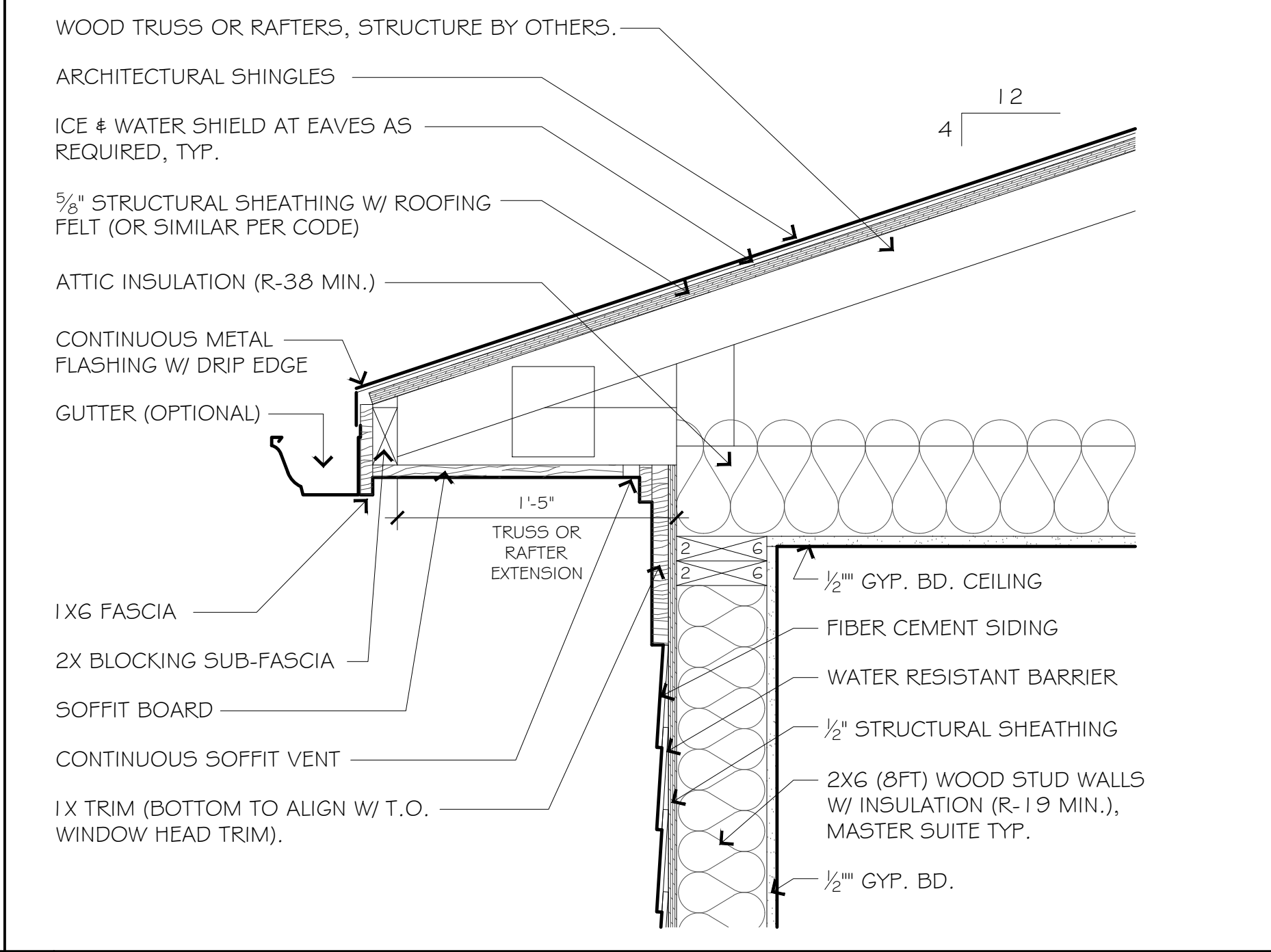
06 FRONT PORCH - EAVE DETAIL 1 1/2" = 1'-0"



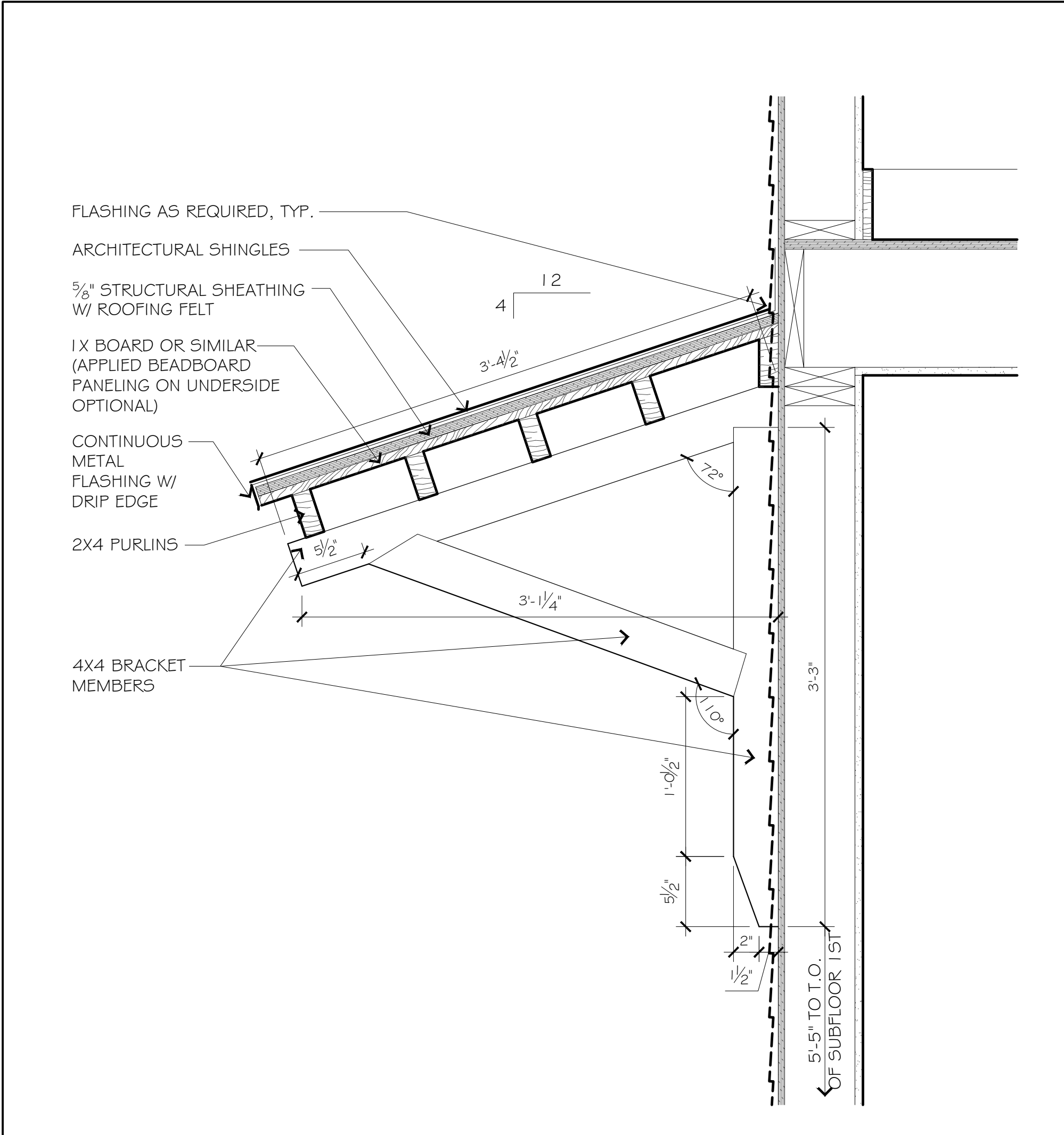
01 MAIN ROOF - EAVE DETAIL 1 1/2" = 1'-0"



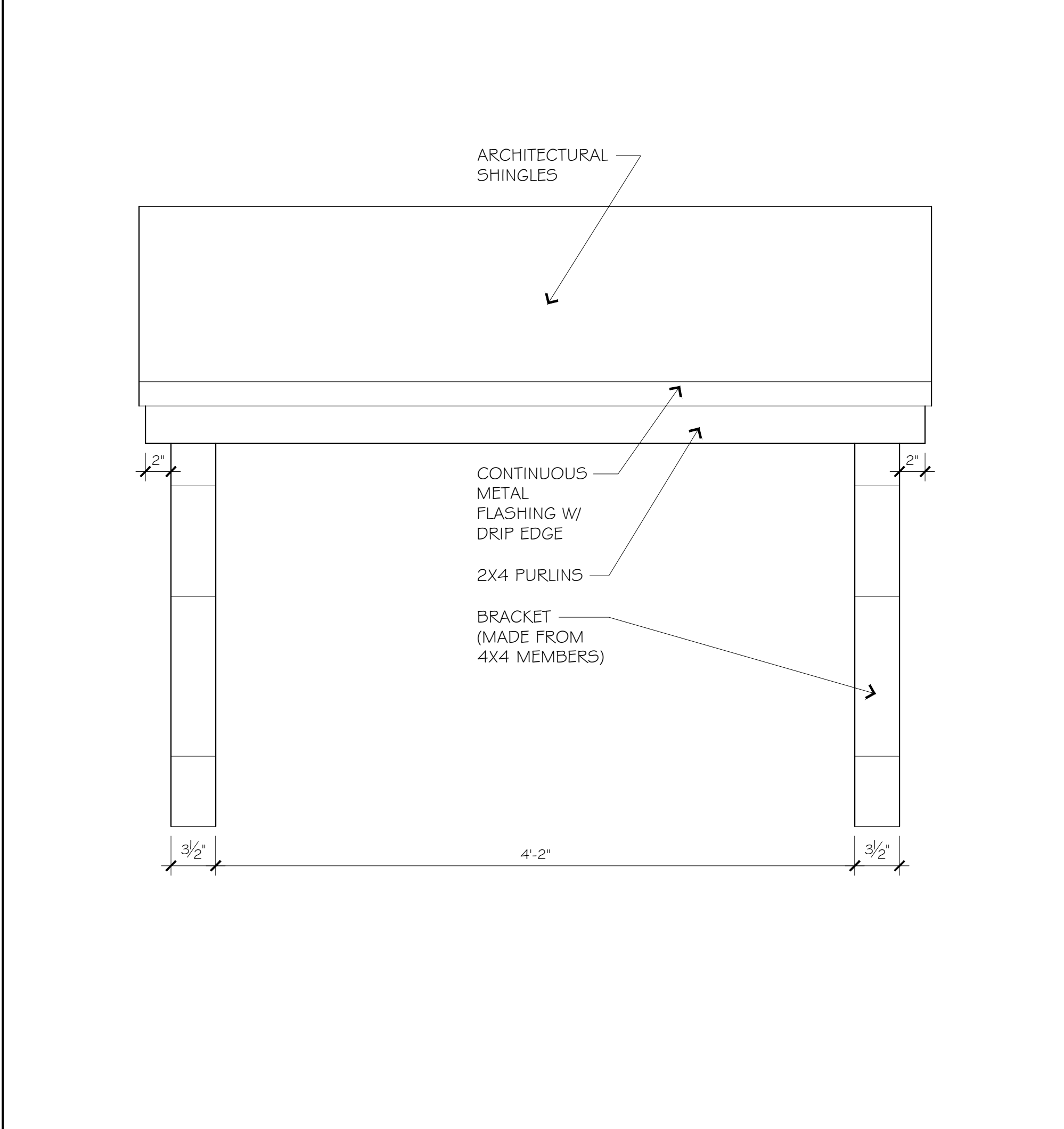
04 NOT USED



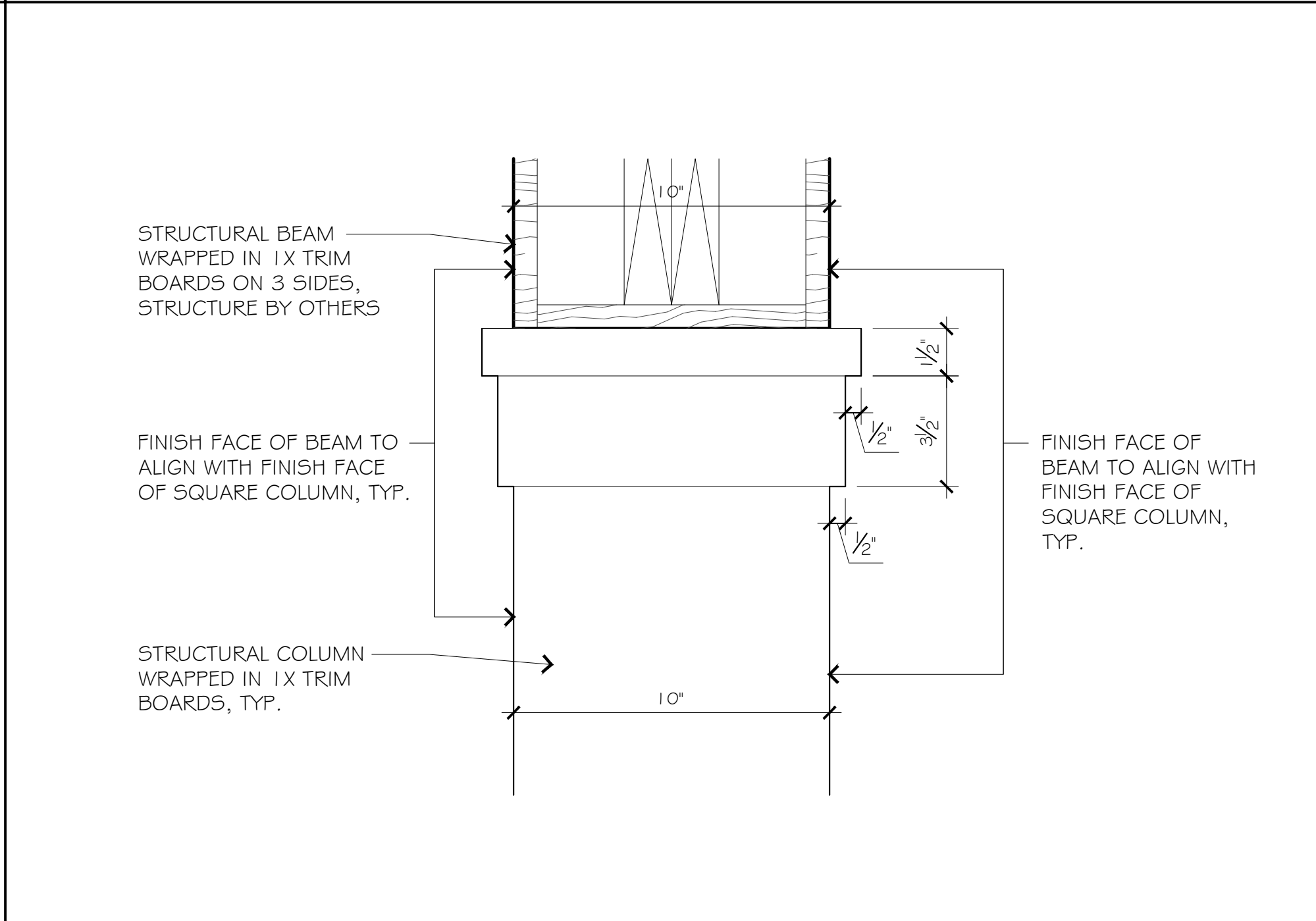
07 MASTER SUITE ADDITION - EAVE DETAIL 1 1/2" = 1'-0"



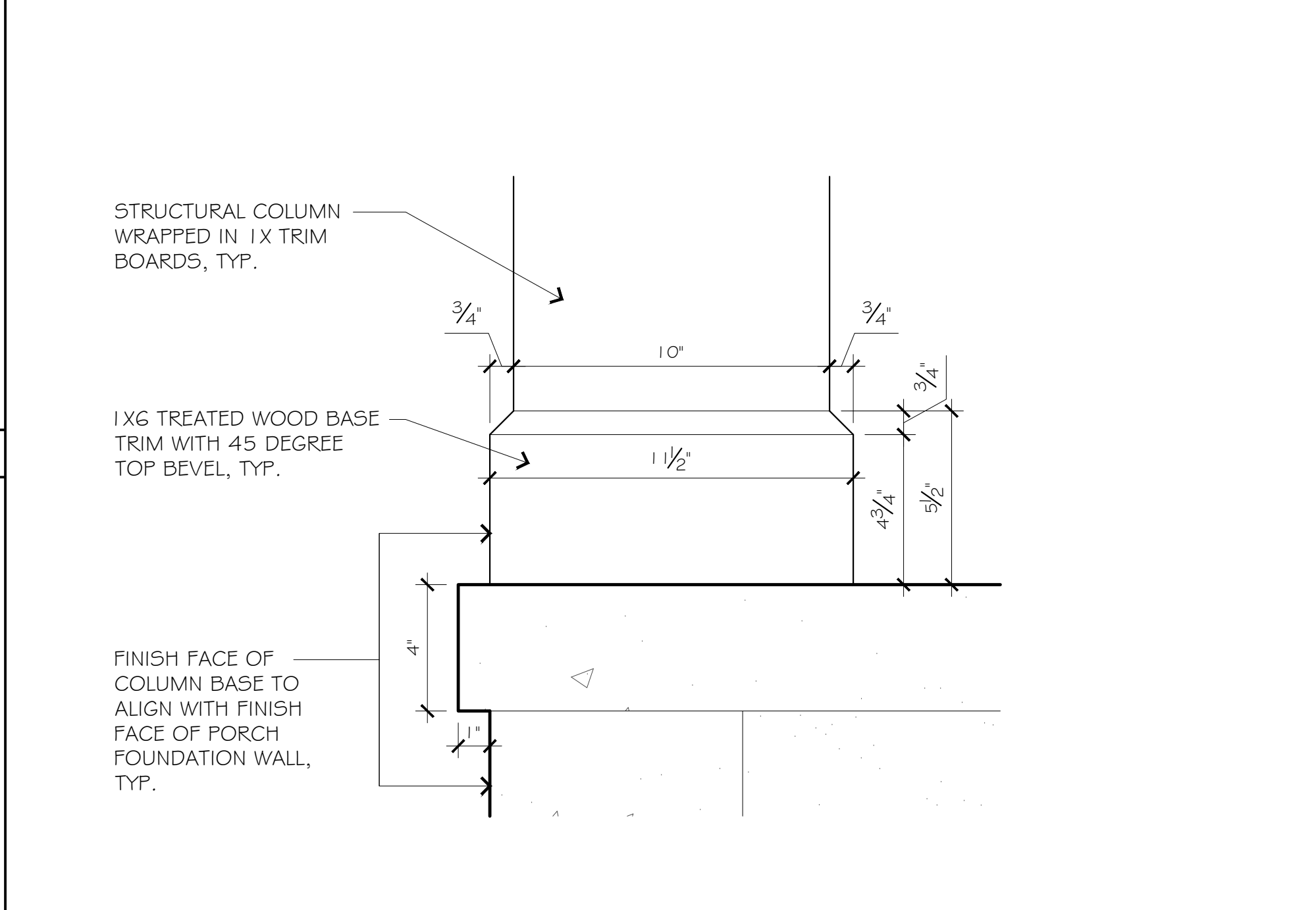
O3 AWNING - SECTION 1/2" = 1'-0"



O6 AWNING - FRONT ELEVATION 1/2" = 1'-0"



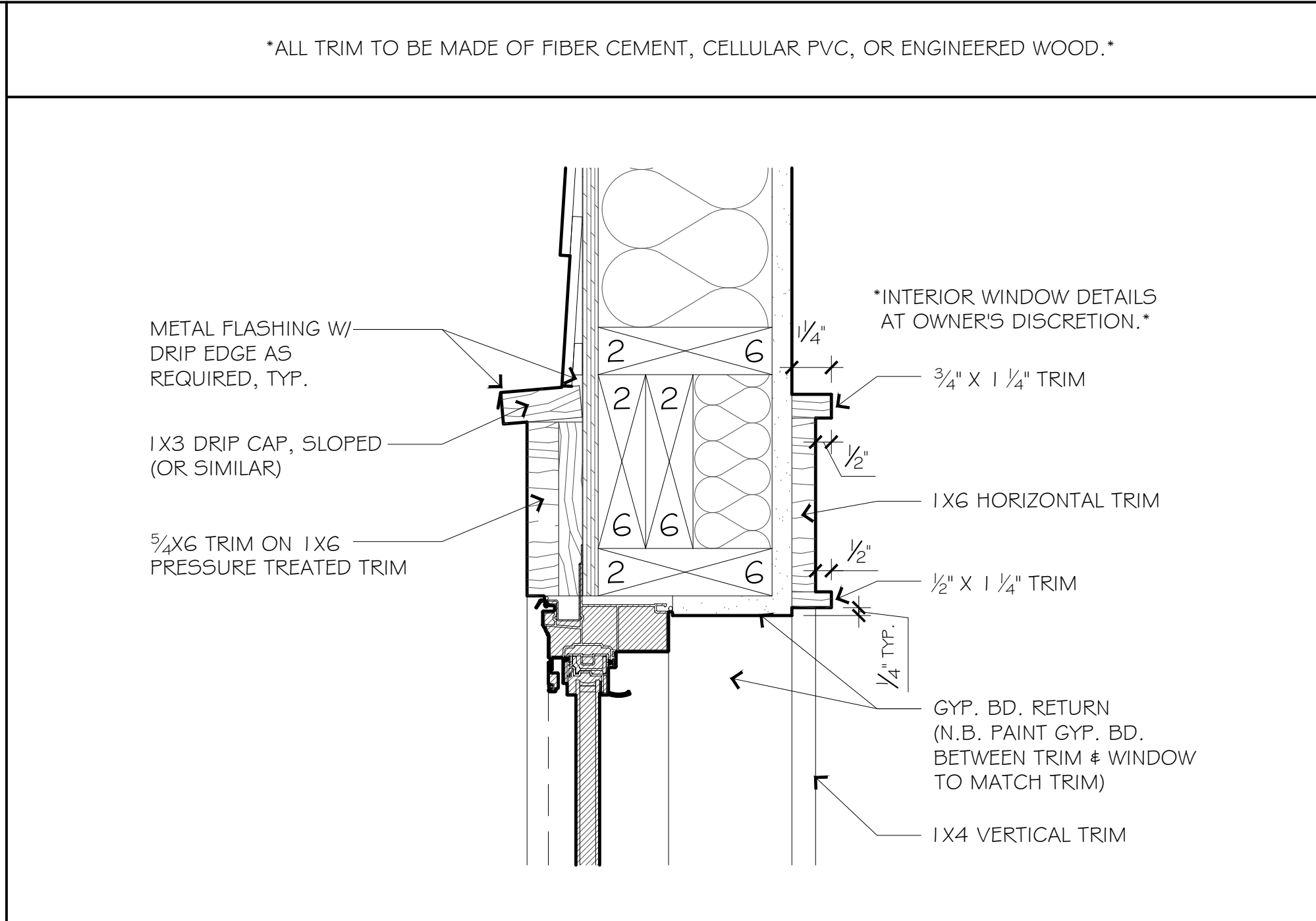
O1 COLUMN CAPITAL 3" = 1'-0"



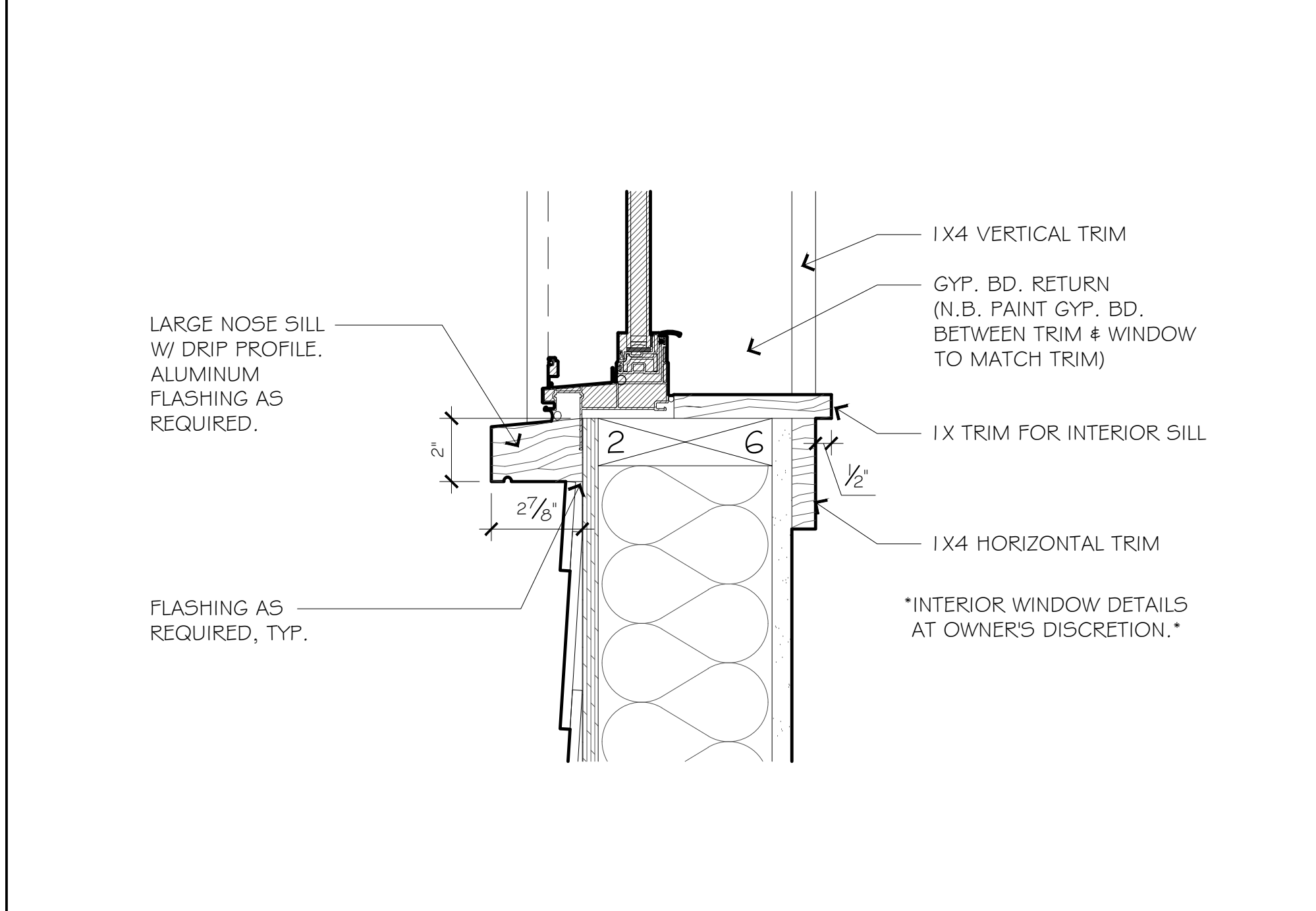
O4 COLUMN BASE 3" = 1'-0"



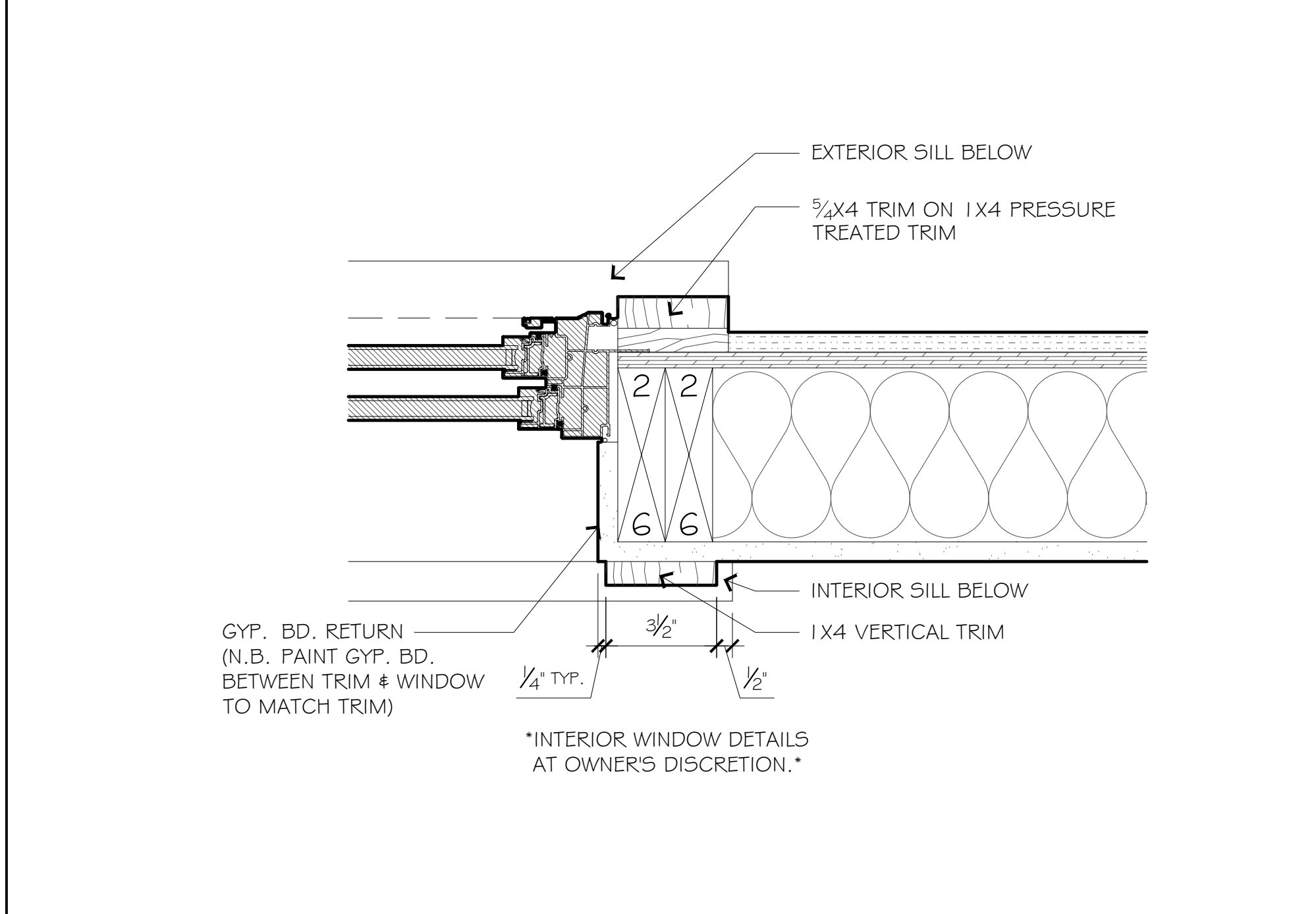
O7 NOT USED



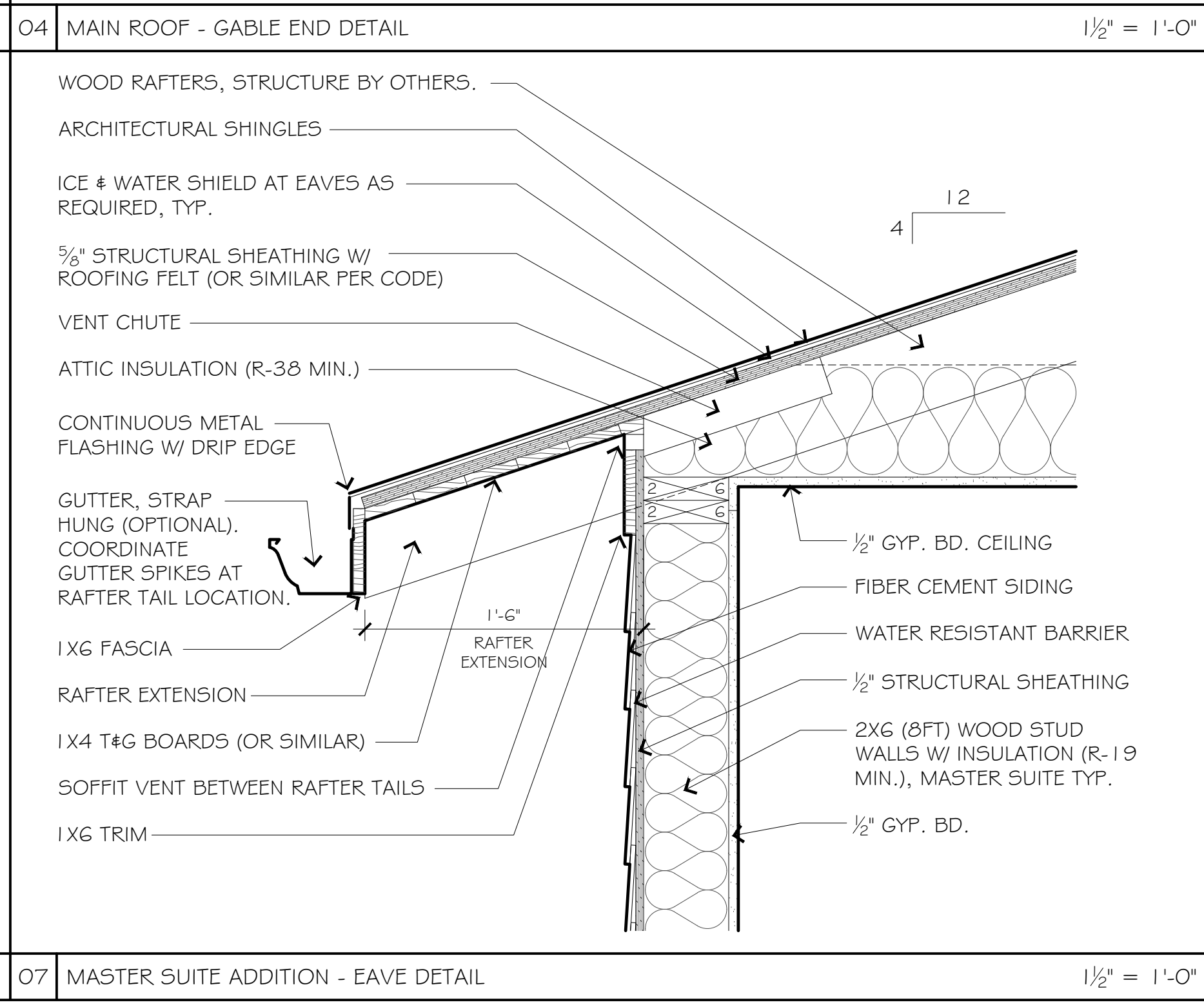
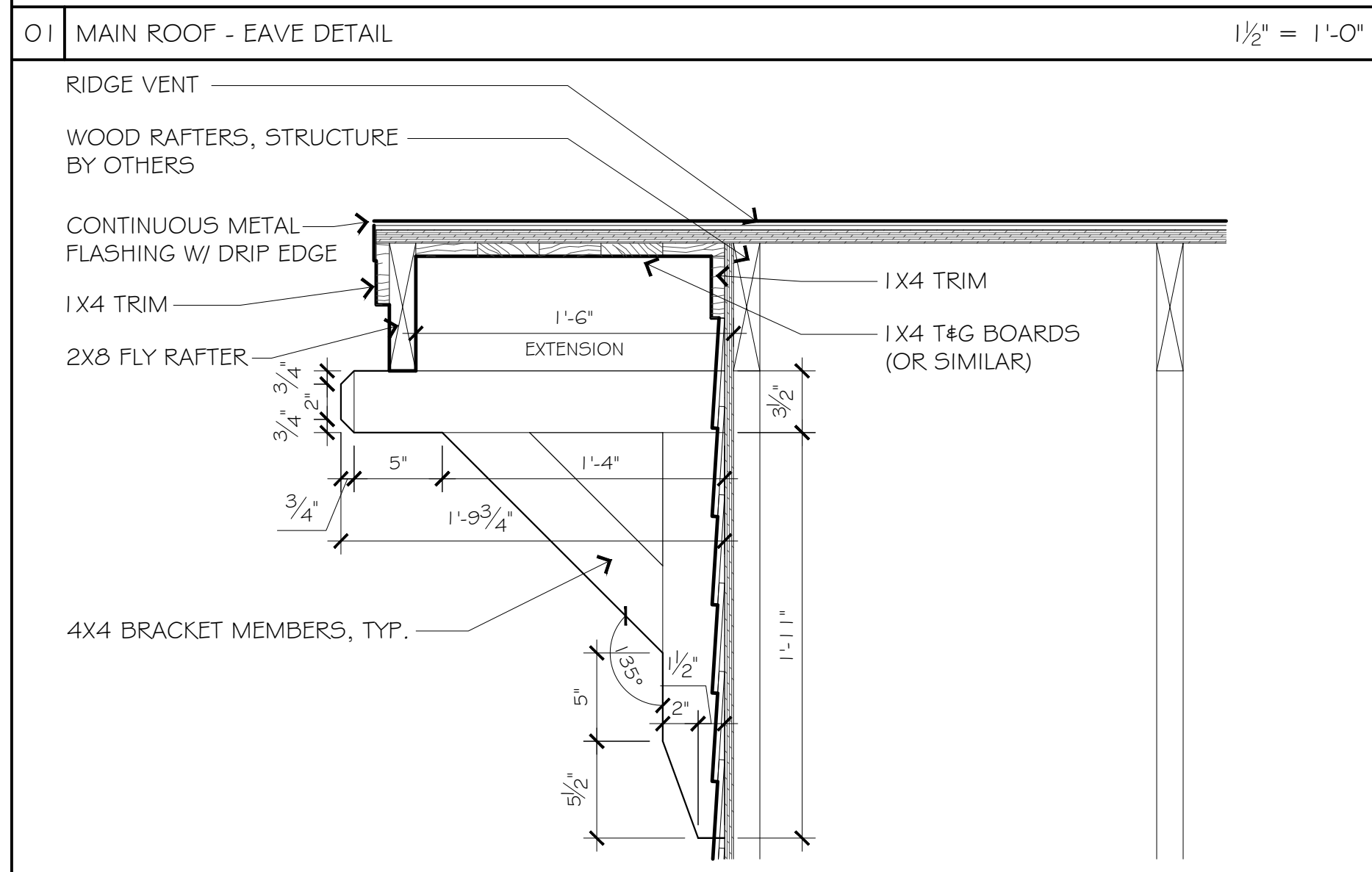
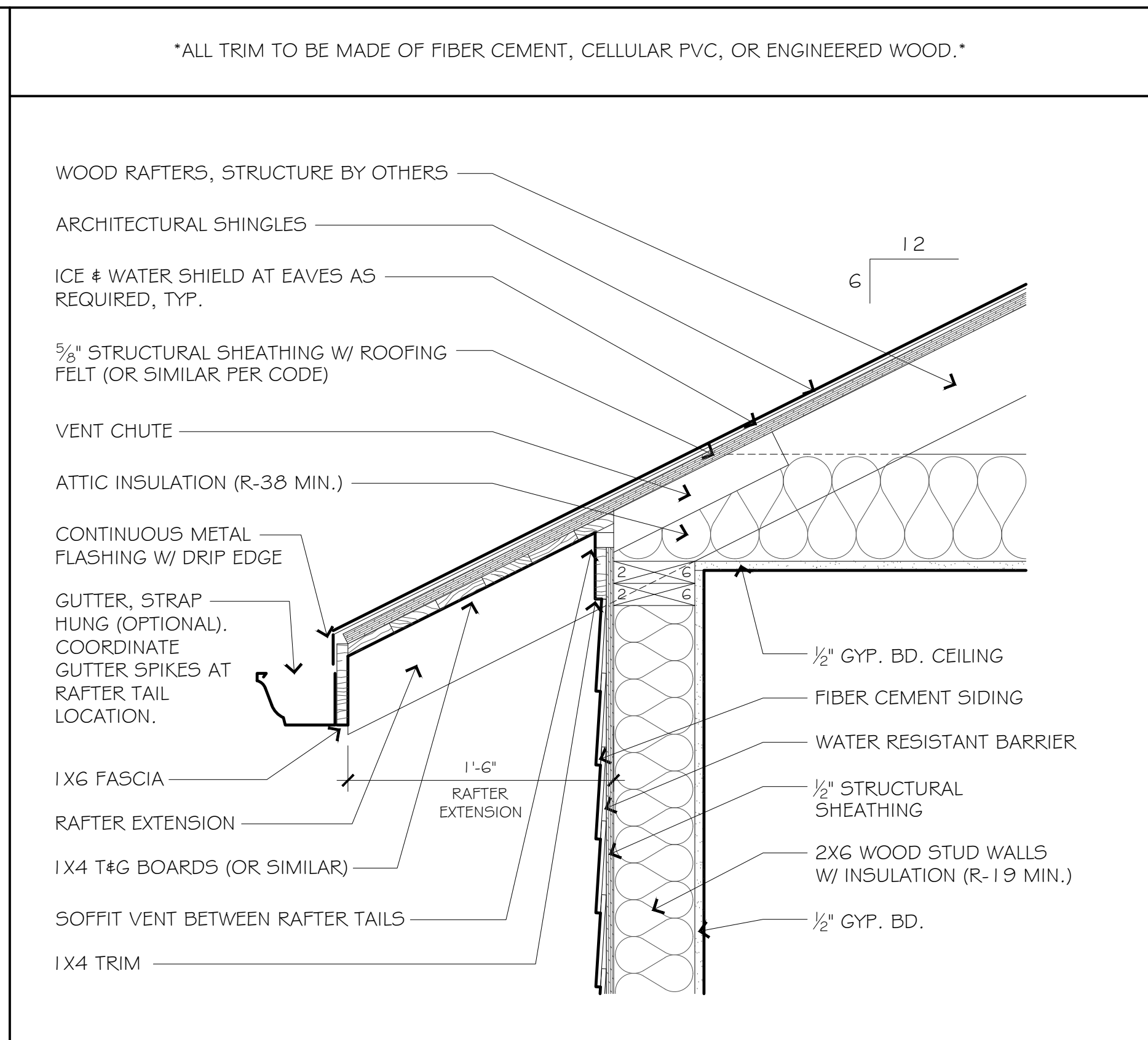
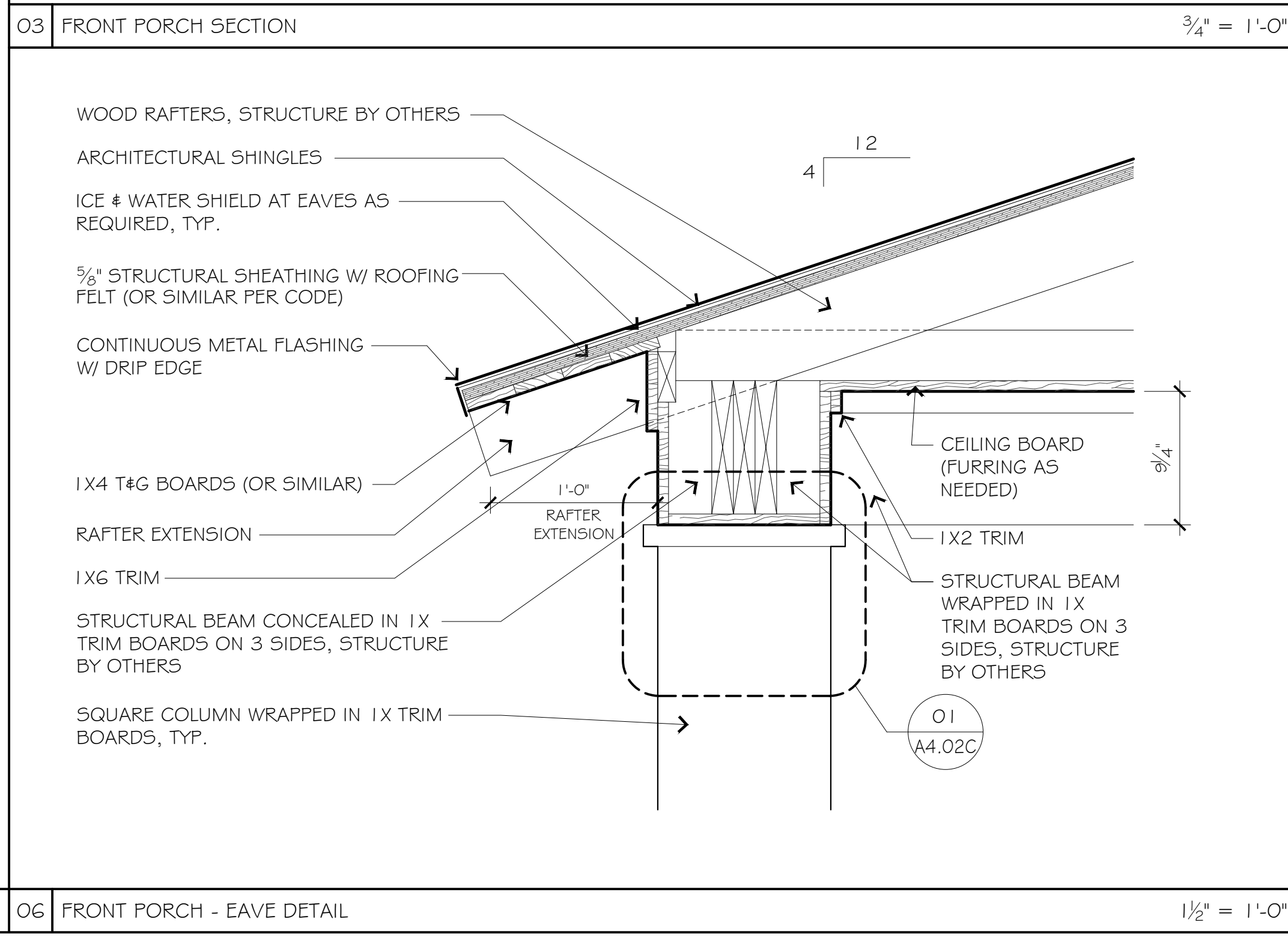
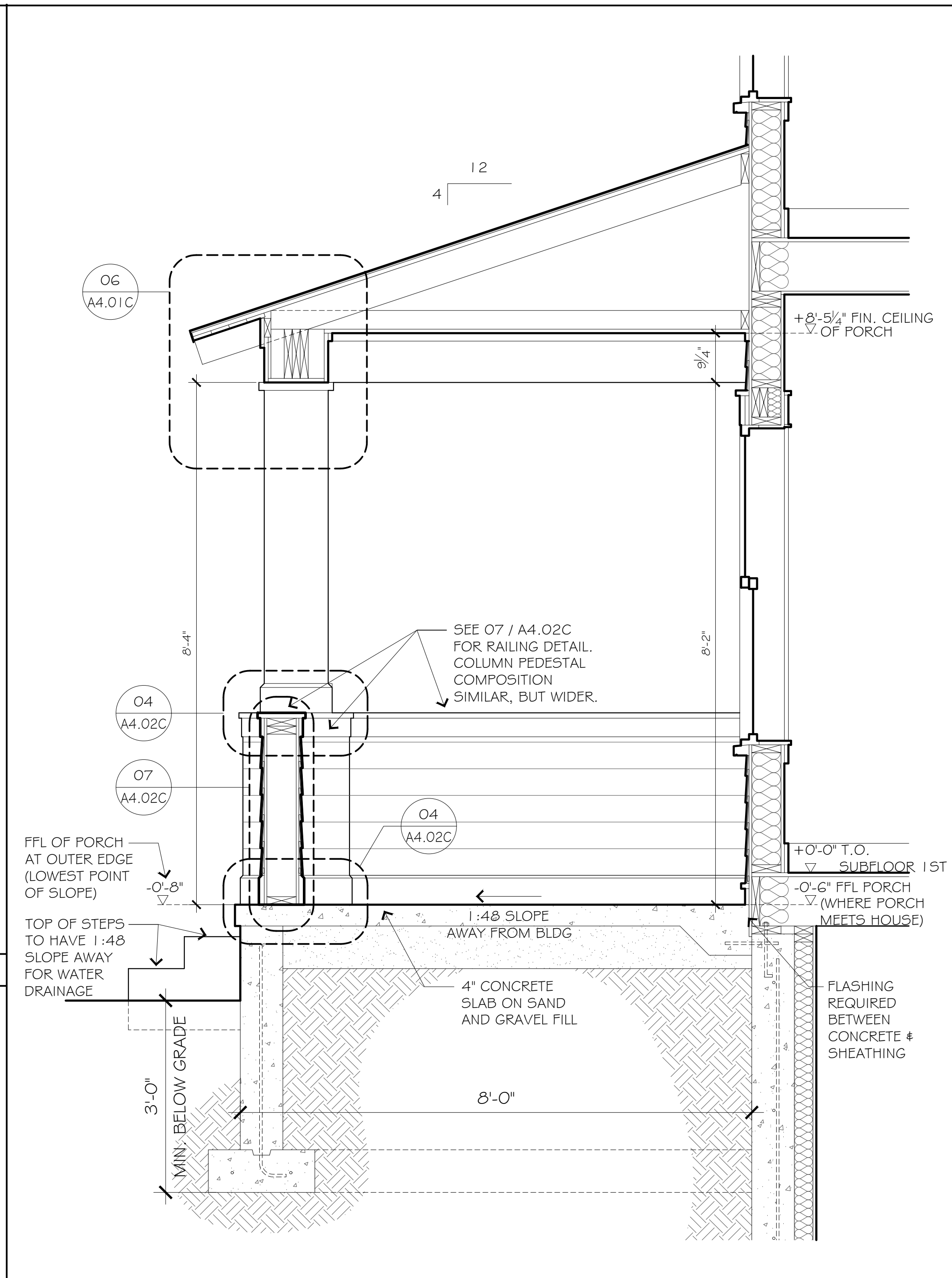
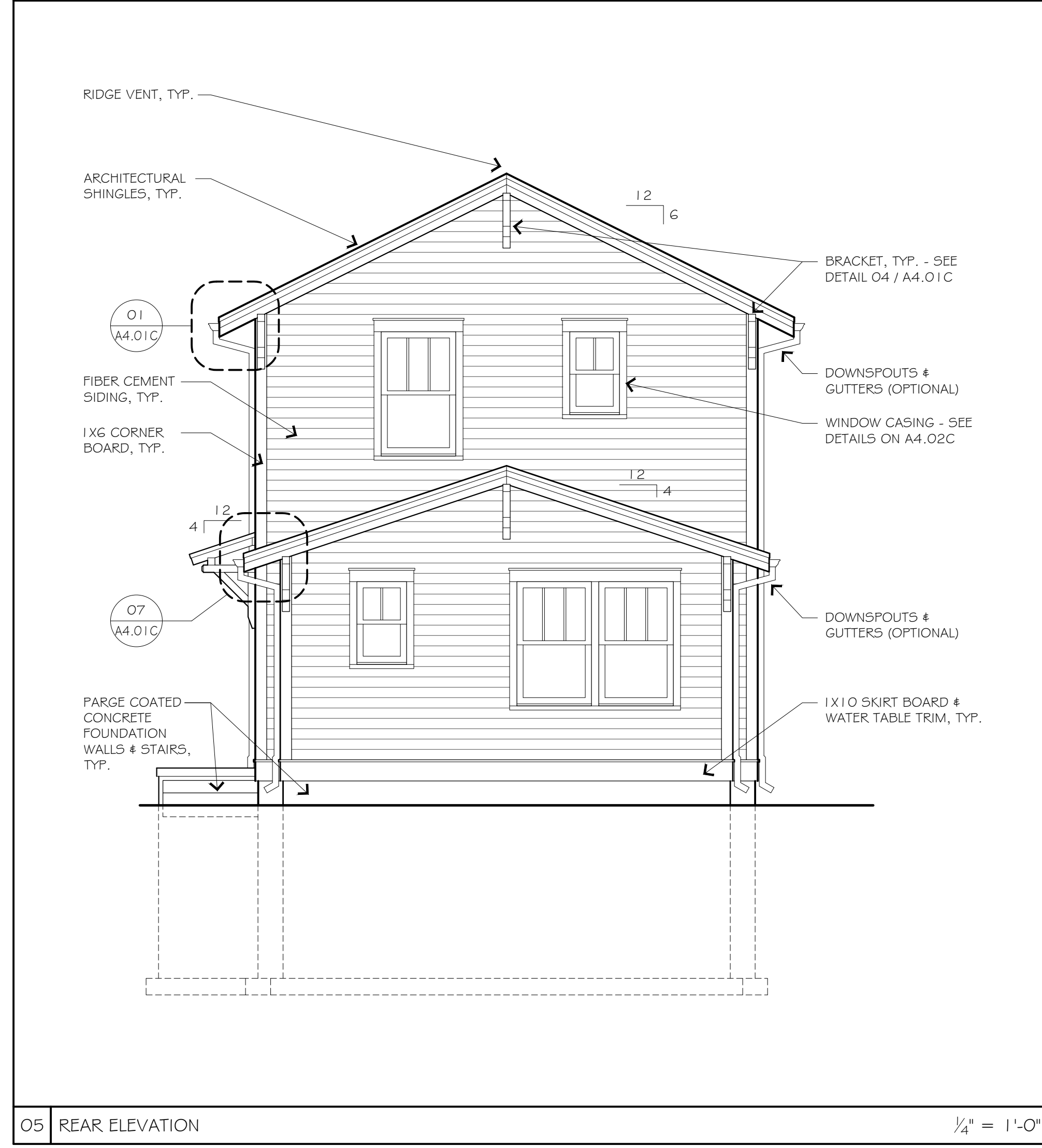
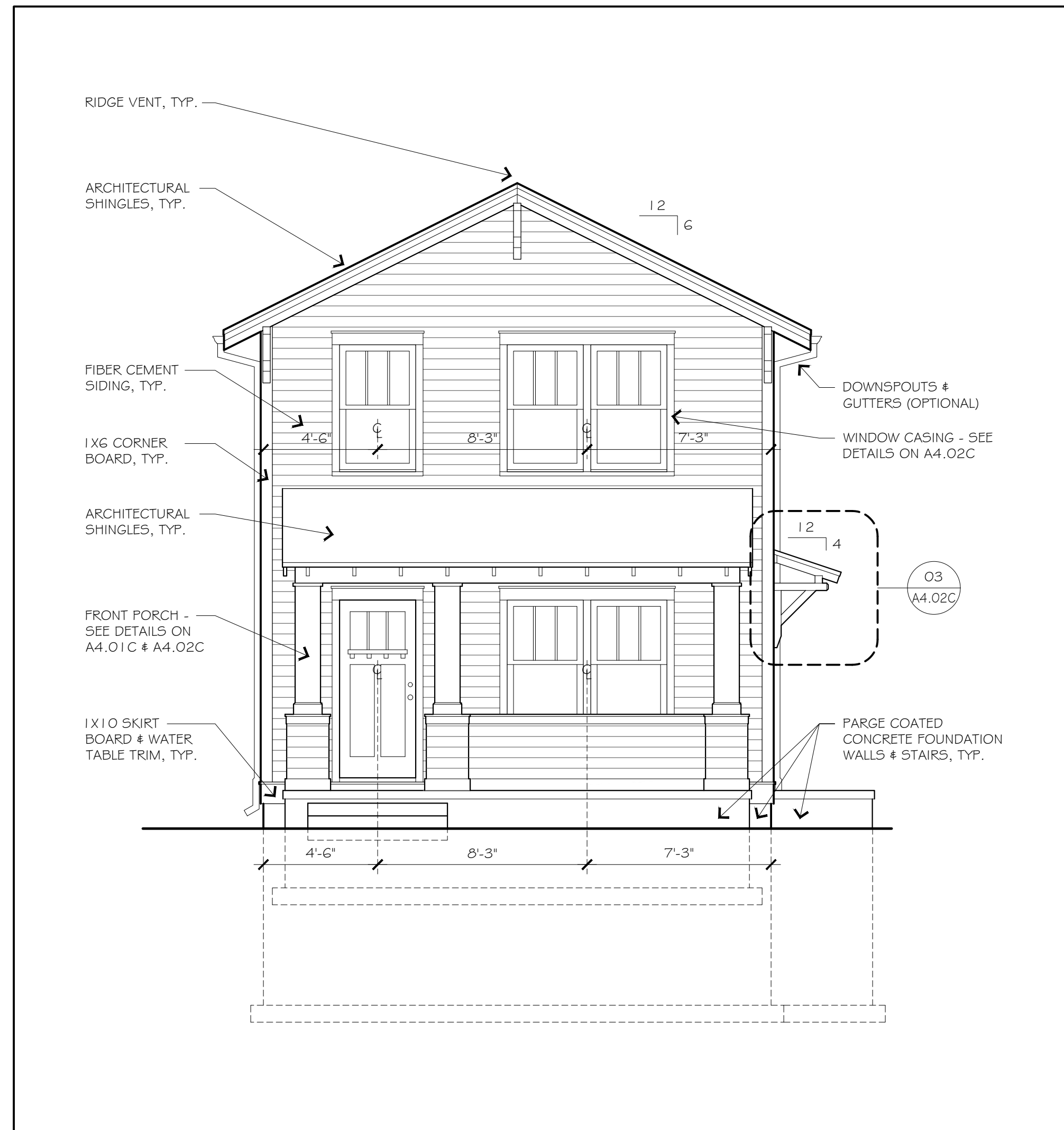
O2 WINDOW HEAD 3" = 1'-0"

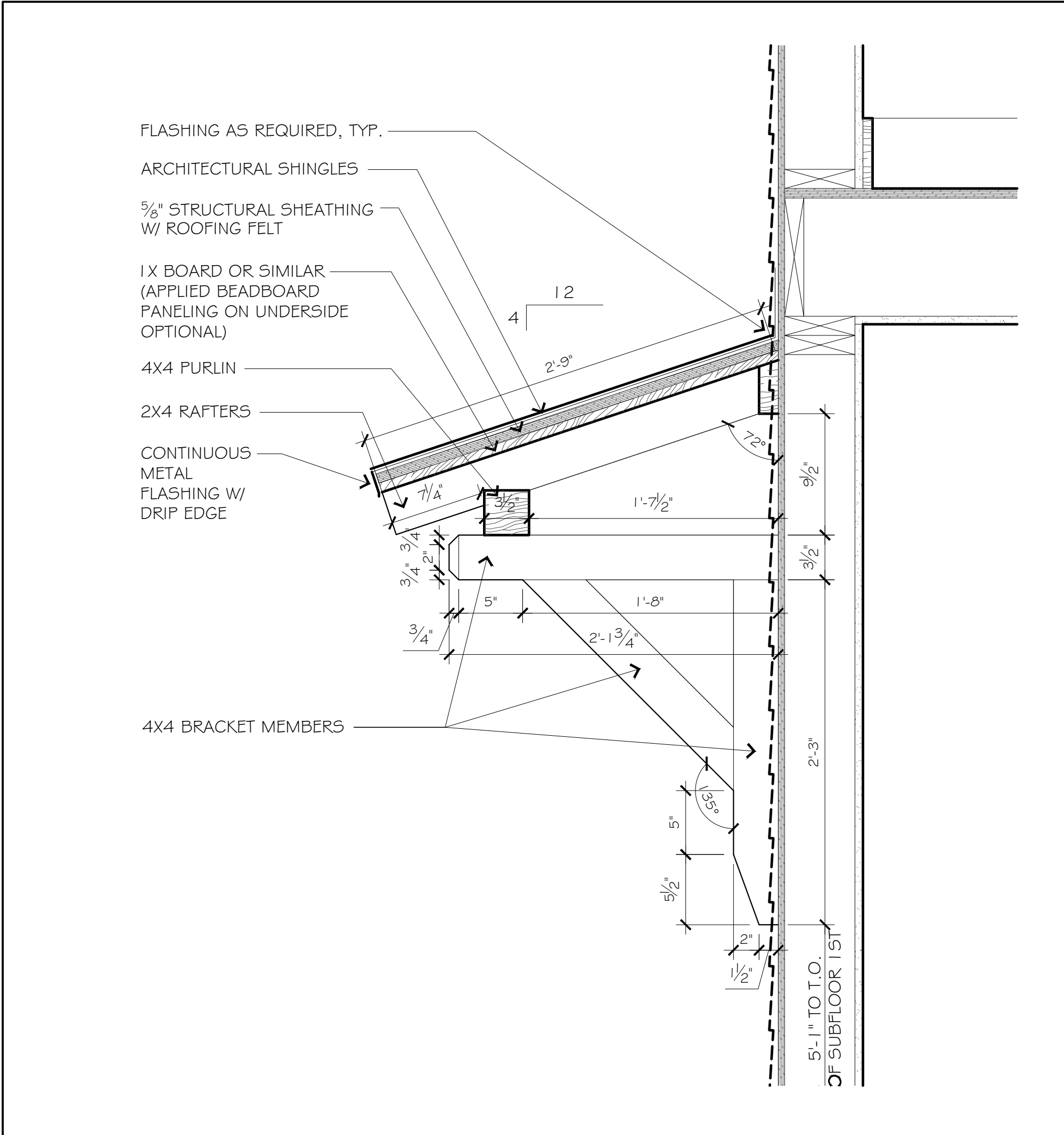


O5 WINDOW SILL 3" = 1'-0"

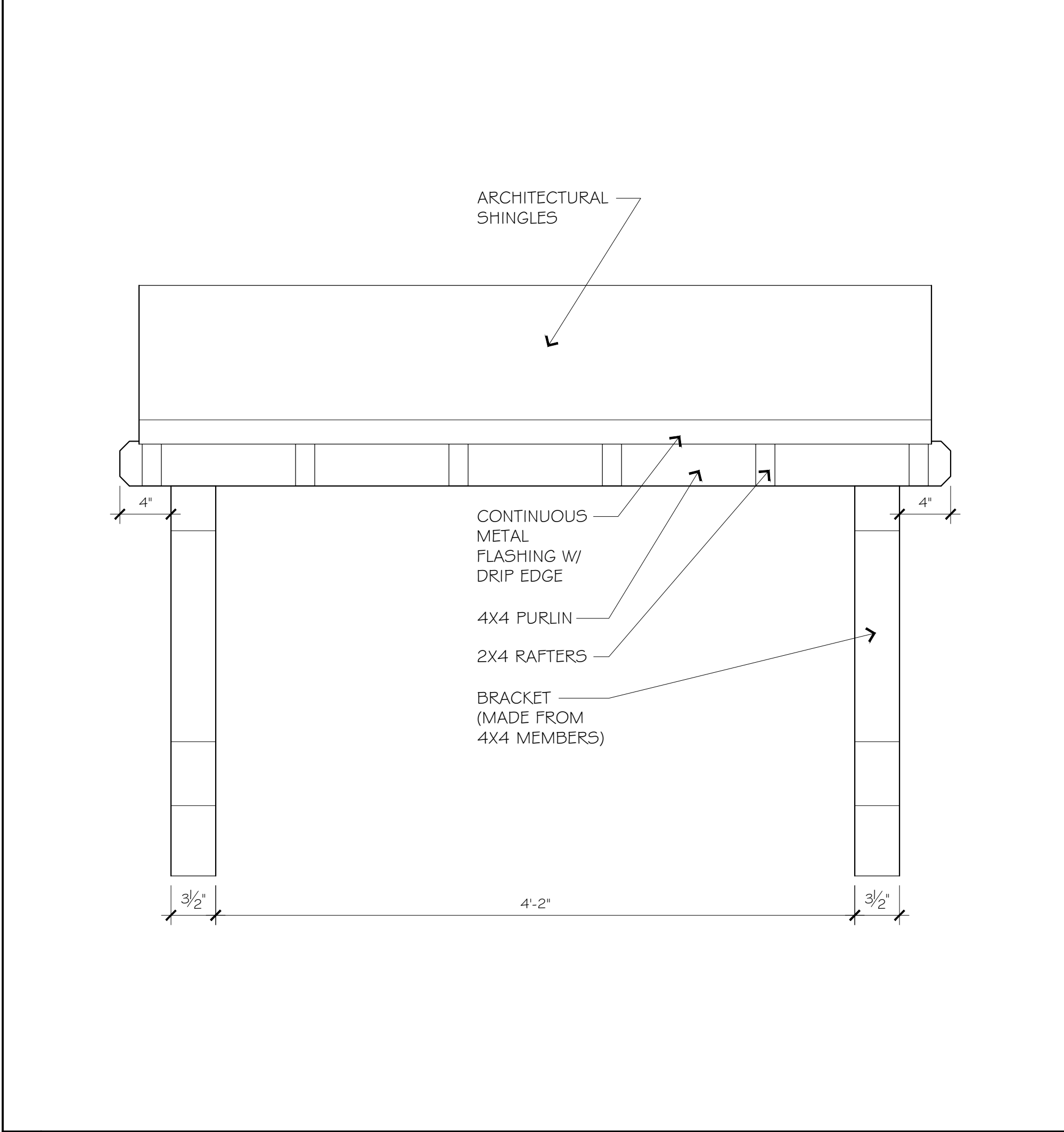


O8 WINDOW JAMB 3" = 1'-0"

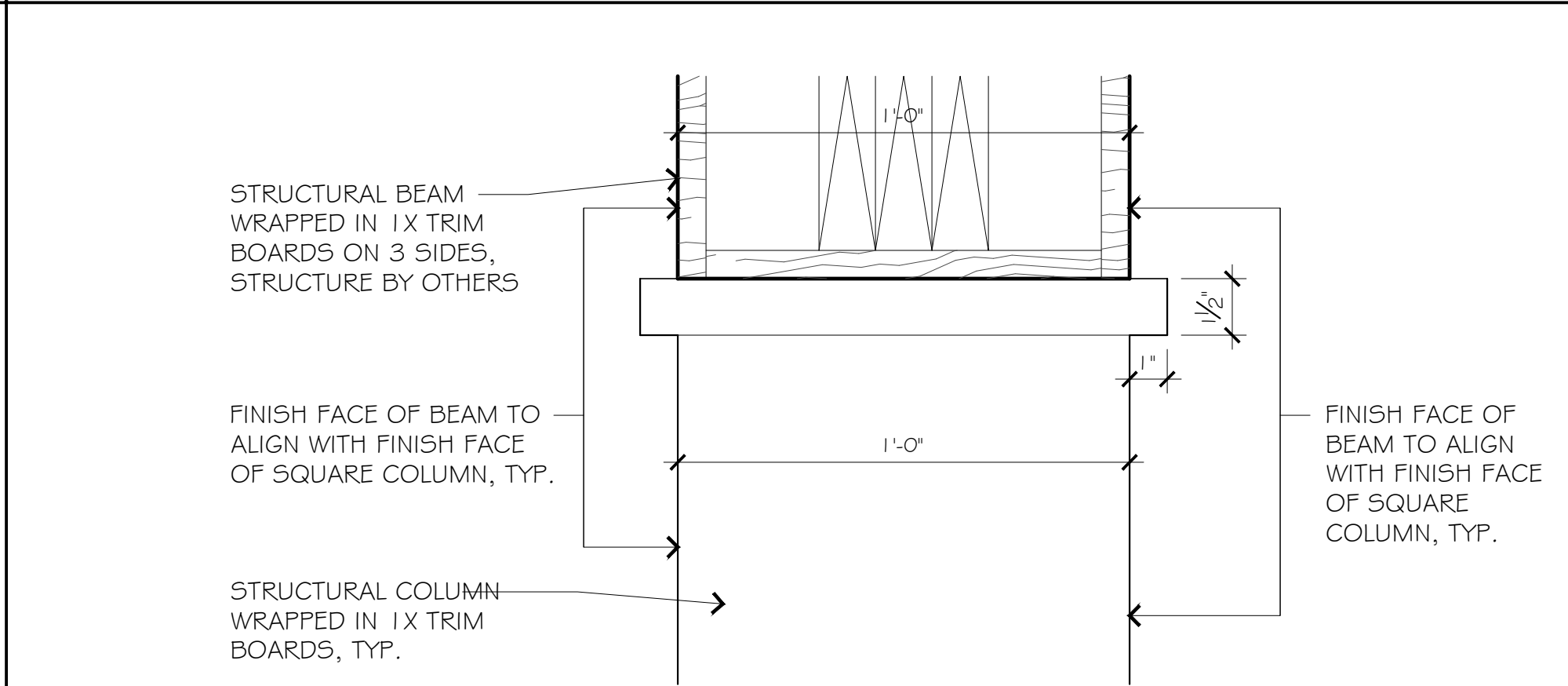




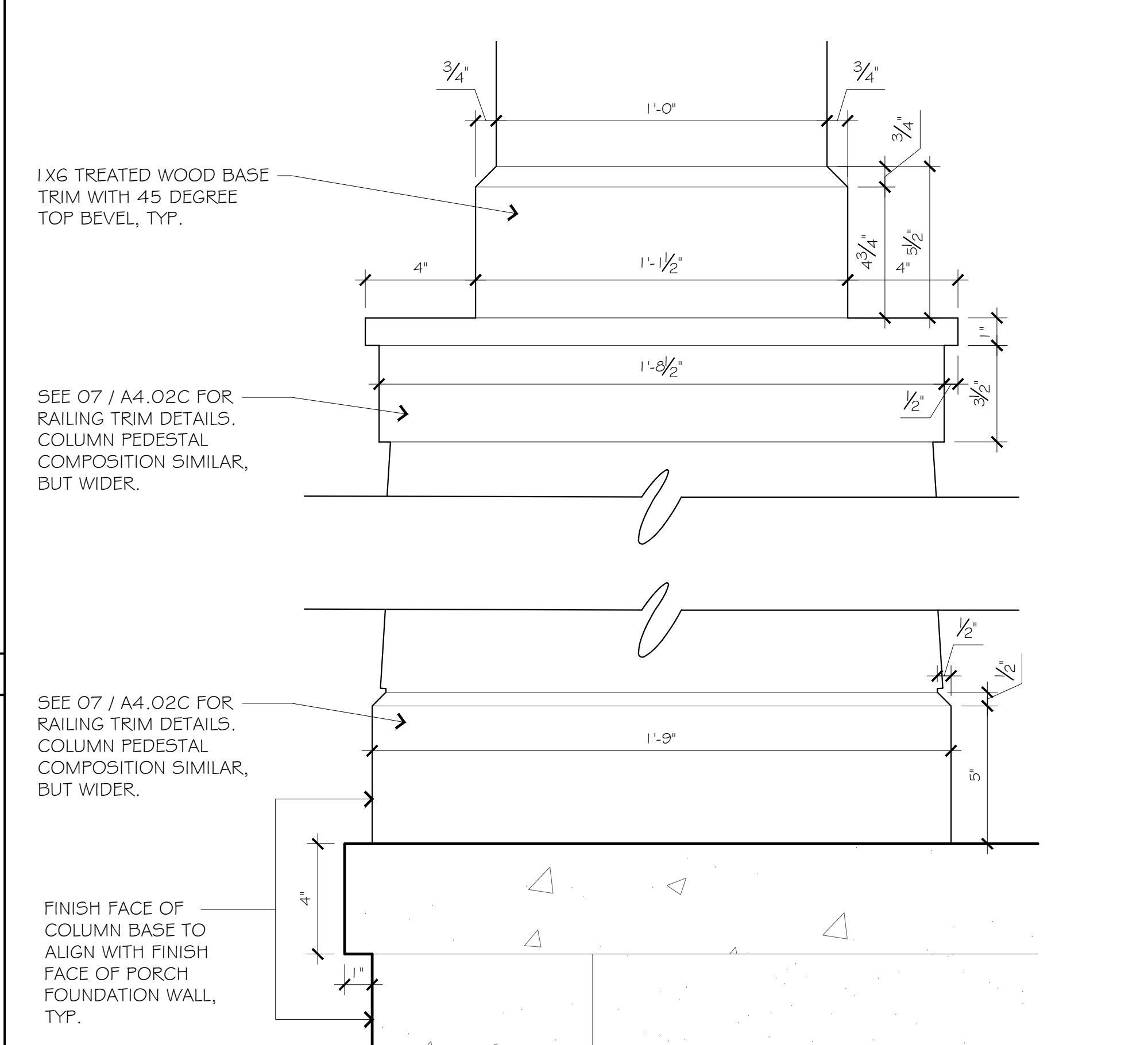
O3 AWNING - SECTION 1/2" = 1'-0"



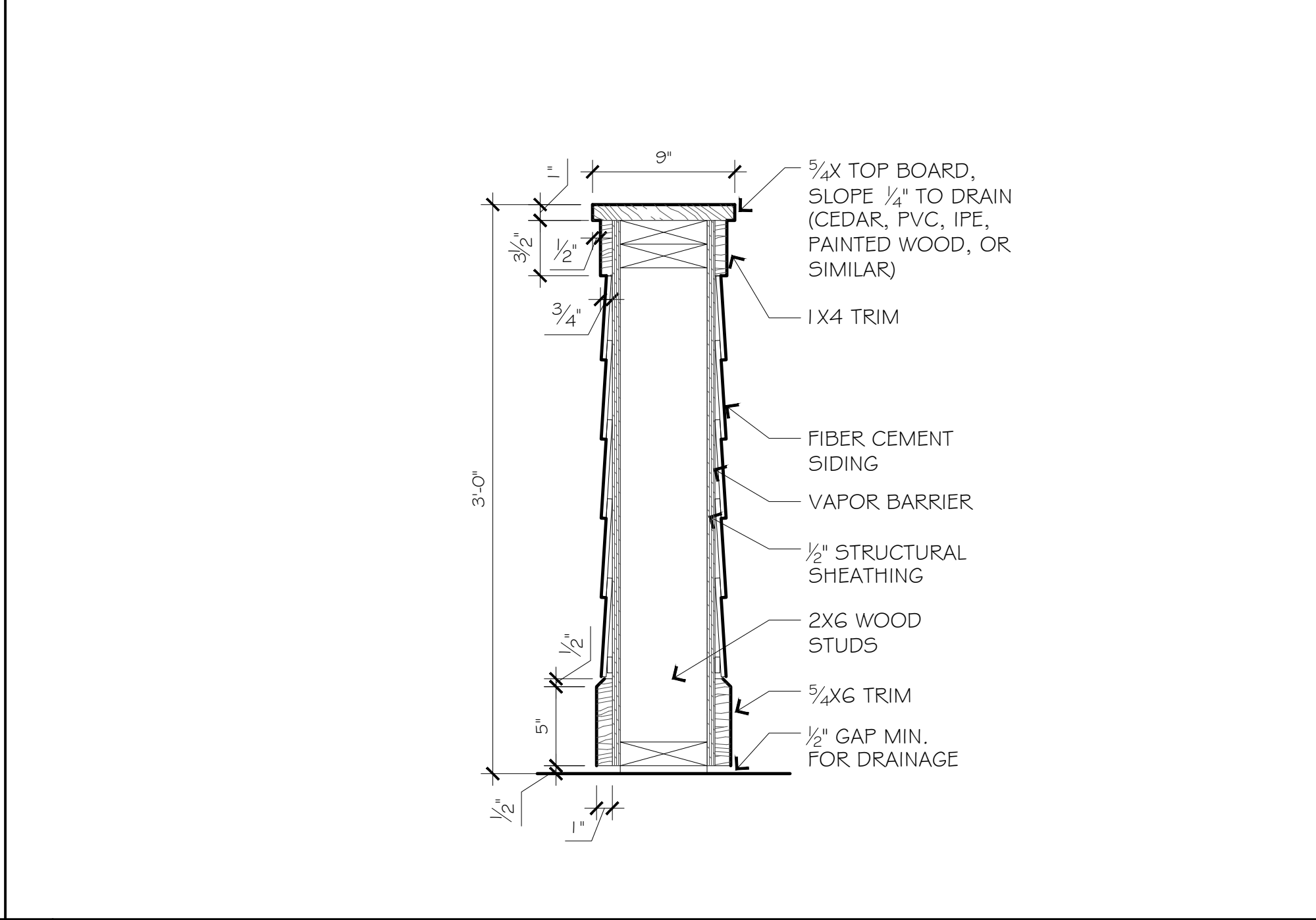
OG AWNING - FRONT ELEVATION 1/2" = 1'-0"



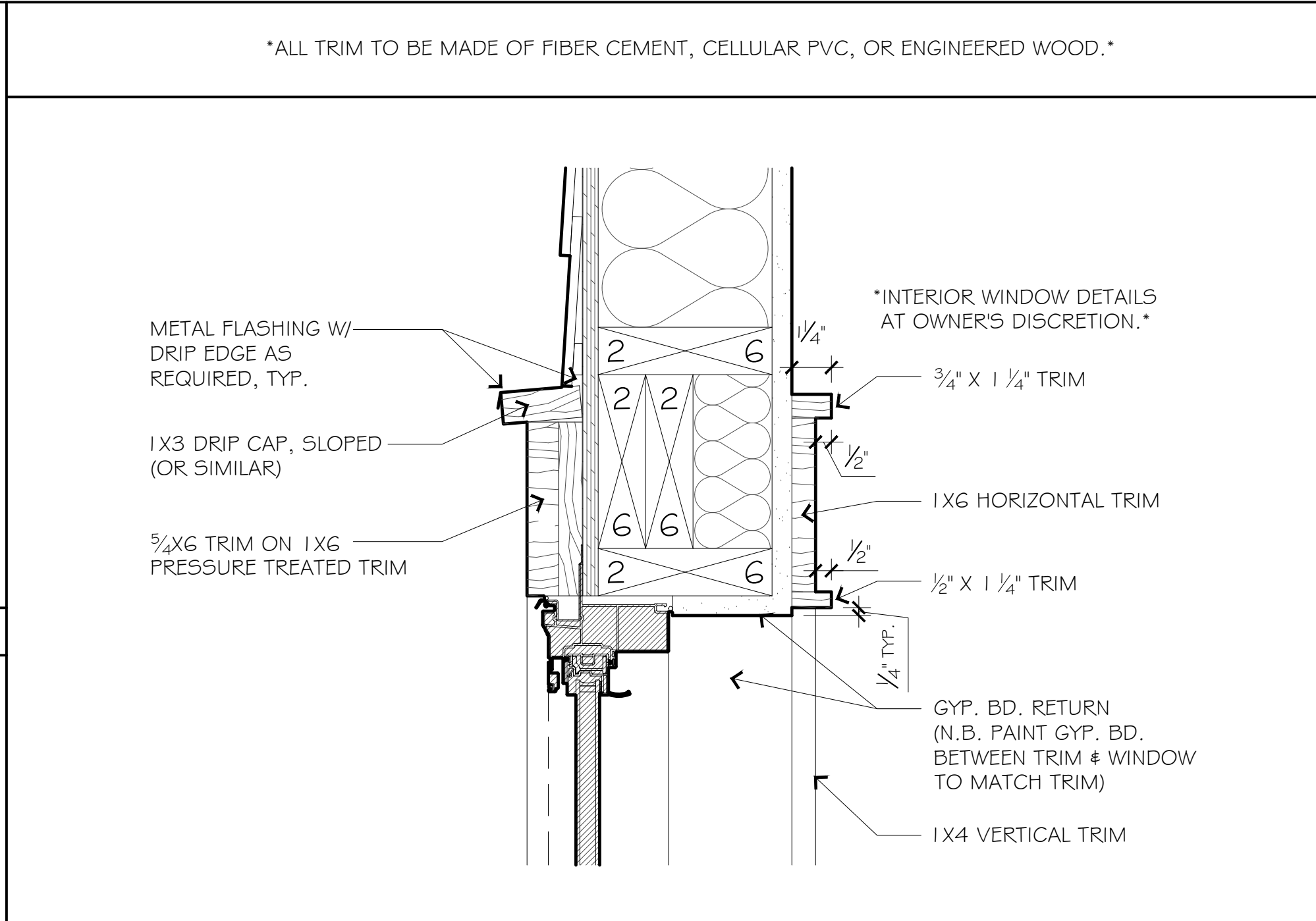
O1 COLUMN CAPITAL 3" = 1'-0"



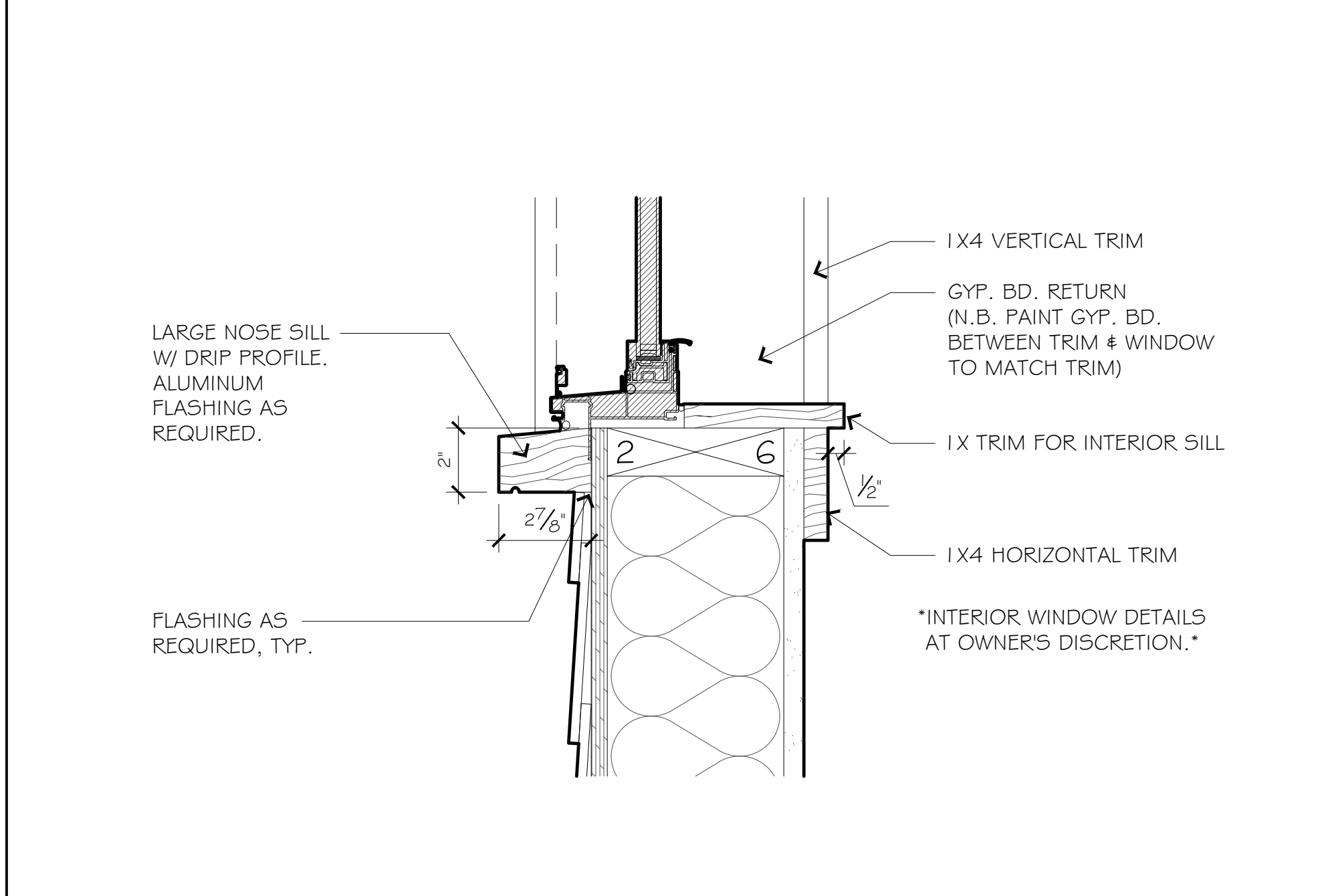
O4 COLUMN BASE 3" = 1'-0"



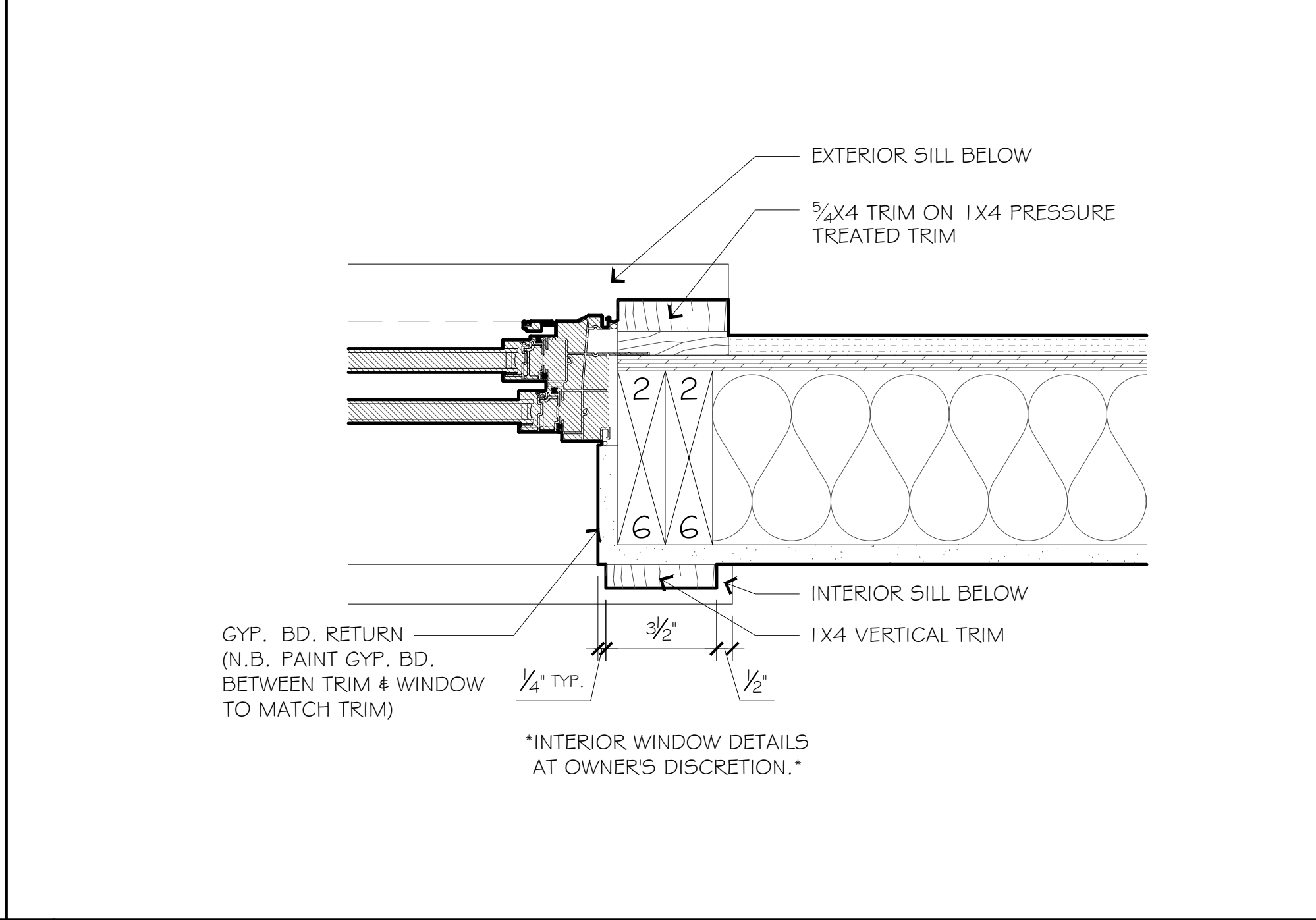
O7 FRONT PORCH LOW WALL & COLUMN BASE DETAIL 1/2" = 1'-0"



O2 WINDOW HEAD 3" = 1'-0"



O5 WINDOW SILL 3" = 1'-0"



O8 WINDOW JAMB 3" = 1'-0"